

Heritage Impact Assessment

No 7 Father Mathew Quay

Cork City T12 CYR9

Cork City Record of Protected Structures – PS085

Agent: Gary Quigley
19 South Mall, Cork

Planning Authority: Cork City Council

Planning Reference: n/a

Planning Status: Support of Section 5 Notification

Report By: Robin Turk & Daniel Noonan

Date of Report: 6th March 2024

DNAC Project No: 23_32

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BUILDING RECORD DRAWINGS

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1. Introduction

Daniel Noonan Archaeological Consultancy (DNAC), acting on behalf of Charlotte Holdings Ltd through the offices of Gary Quigley, has prepared this Heritage Impact Assessment relating to proposed alterations at *No 7 Fr Mathew Quay, Cork City T12 CYR9* (see **Drawing 01** for location information).

The building, a 5 storey Georgian house overlooking the south channel of the river Lee, is on the Record of Protected Structures for Cork City, no: **PS085**. It is also listed on the National Inventory of Architectural Heritage as entry **20514323** with Regional significance. The National Inventory of Architectural Heritage (NIAH) constitutes the minister for heritage's recommendation for preservation (listing on the RPS or similar). The Cork City Council Development plan requires that due care be given to developments affecting NIAH sites.

The building is within the South Channel Architectural Conservation Area (ACA) which is characterised by the relationship between the river and the buildings built on the riverbanks and particularly the quay side infrastructure, iron railings, carved railing piers, limestone steps, slips, mooring rings and wooden quay fenders which reflect the industrial and maritime history Cork (Cork City Development plan 2022, 90). Neither the building nor its site are included in the archaeological *Record of Monuments and Places* (RMP) for County Cork (1998). While Cork City is listed as RMP CO074-034001- (Historic Town), the development site is outside the Zone of Archaeological Potential of the latter.

The report has been created as pre-planning submission with regard to the preparation of a submission under Section 5 of the Planning and Development Act 2000, for a declaration that proposed works to bring the property back into productive use for accommodation are exempt from a planning permission requirement; in line with recent additional exemptions brought forward into the planning regulations by the Minister for Housing, Local Government and Heritage.

2. Site Location

Father Mathew Quay runs WNW to ESE along the southern edge of Morrison's Island, from Parliament St to Morrison's Quay. The site, 7 Fr Mathew Quay, is located overlooking the quay and the South channel of the river Lee and is located at ITM coordinates 567540, 571633. It is set back and slightly oblique to the alignment of Fr Mathew Quay and is bounded on the east by No 6 Fr Mathew Quay and on the west by part of the Holy Trinity Capuchin Friary. No 7 Fr Mathew Quay is part of a terrace of 3 Georgian townhouses which were clearly built as a trio. No 5 is part of a derelict development site (which includes a warehouse to the west) while No 6 is in use as an office. To the west is a complex of buildings associated with the Holy Trinity Church and Capuchin Friary.

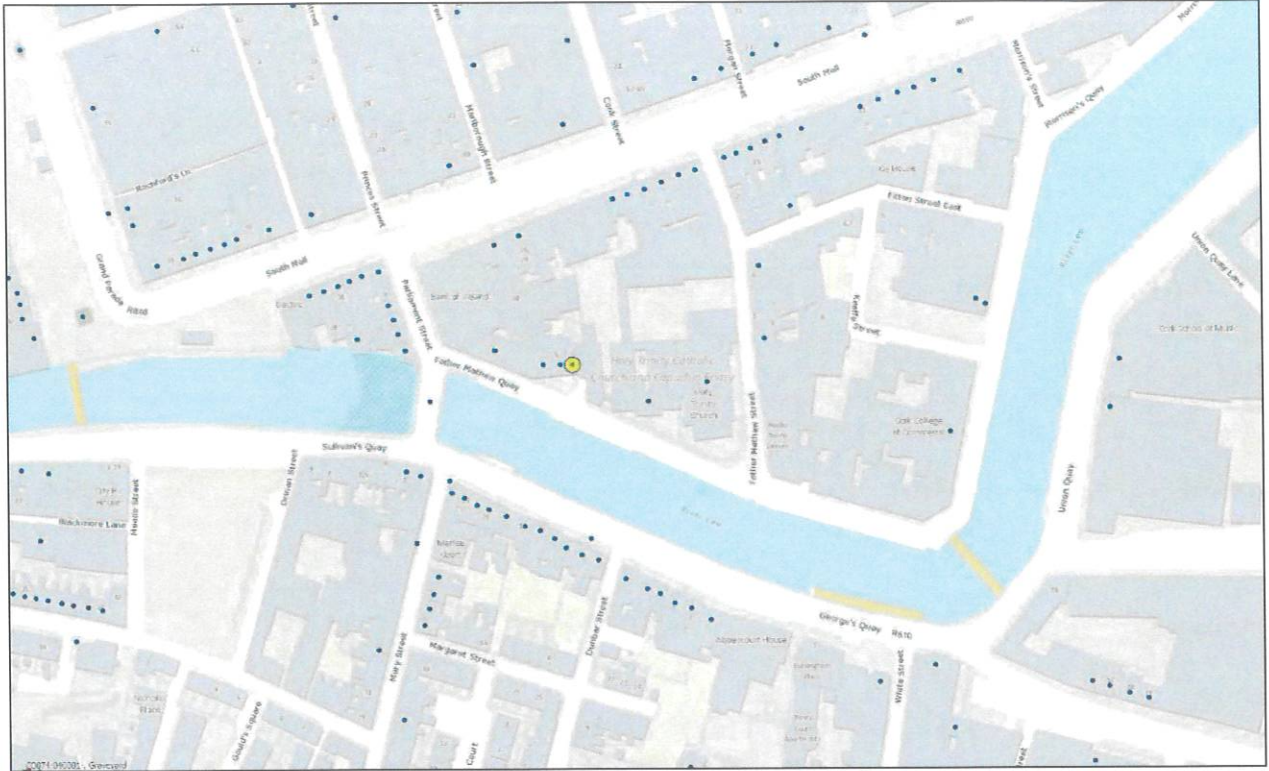


Figure 1: Historic Environment Map with site highlighted in yellow.



Figure 2: View 7 Fr Mathew Quay from the south (the building in question has the for sale sign).

3. Historical & Cartographic Background

Morrisons Island, where the development is located, was not incorporated into the city until the eighteenth century when land was reclaimed and suburbs expanded. The development site stands wholly outside the medieval walled City of Cork, on Morrison's Island. The island is shown to the east of the city in cartographic sources from the seventeenth century. The 1690 map of Cork City (**Figure 3**) is among the first to clearly show the outline of the island, however it is not named in this map, and there are as yet no buildings depicted in the area.

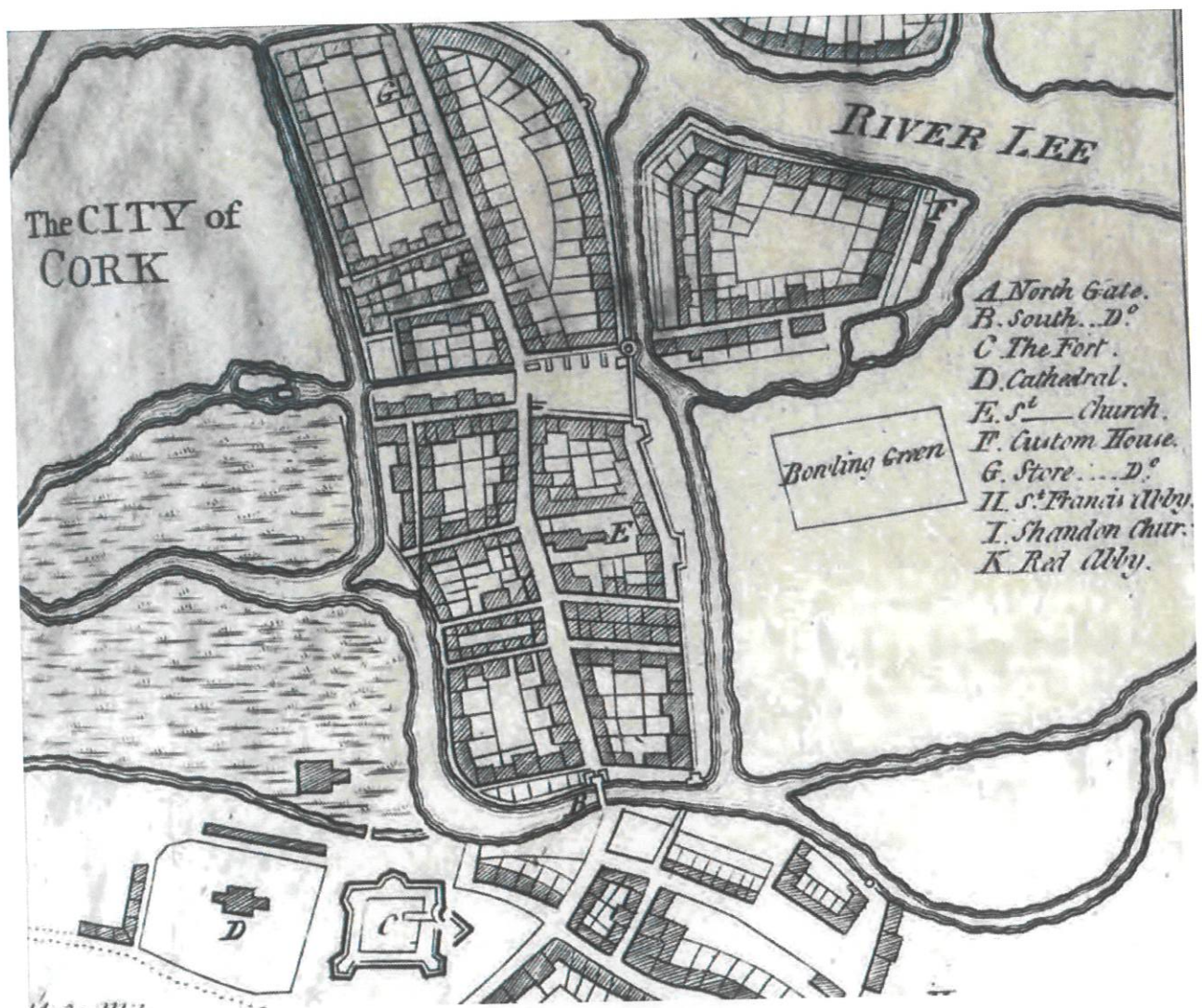


Figure 3: The City of Cork, c.1690. Morrisons Island is shown but not named, to the bottom right of the map, below the island with the bowling green.

By the eighteenth century, development along the South Mall had advanced significantly. Cartographic sources begin to show more of the area to the east of the city, and areas of ground are often named. What is today known as Morrisons Island is named variously as the East Marsh, Dunbar's Marsh and

Lavitt's Island. Rocque's 1759 map shows development to the south of the South Mall along the river front, but as yet no building on the island named Dunbar's Marsh (Figure 4).



Figure 4: Section of Rocque's map of Cork City 1759. Part of the island is named Dunbar's Marsh.

By the middle of the eighteenth century, as the focus of trade in Cork moved away from the medieval core and out to the eastern quays, the island became the focus of reclamation efforts. The marsh was drained and ground level raised to allow for construction, and two new quays were created - Charlottes Quay and Morrisons Quay. Morrisons Island began to be known by its modern name, a reference to the Morrison family who were prominent in the civic affairs of the city at this time. Rocque's 1773 revised map (Figure 5) shows the island fully built over with Parliament bridge linking the island with the Red Abbey area on the south of the river.

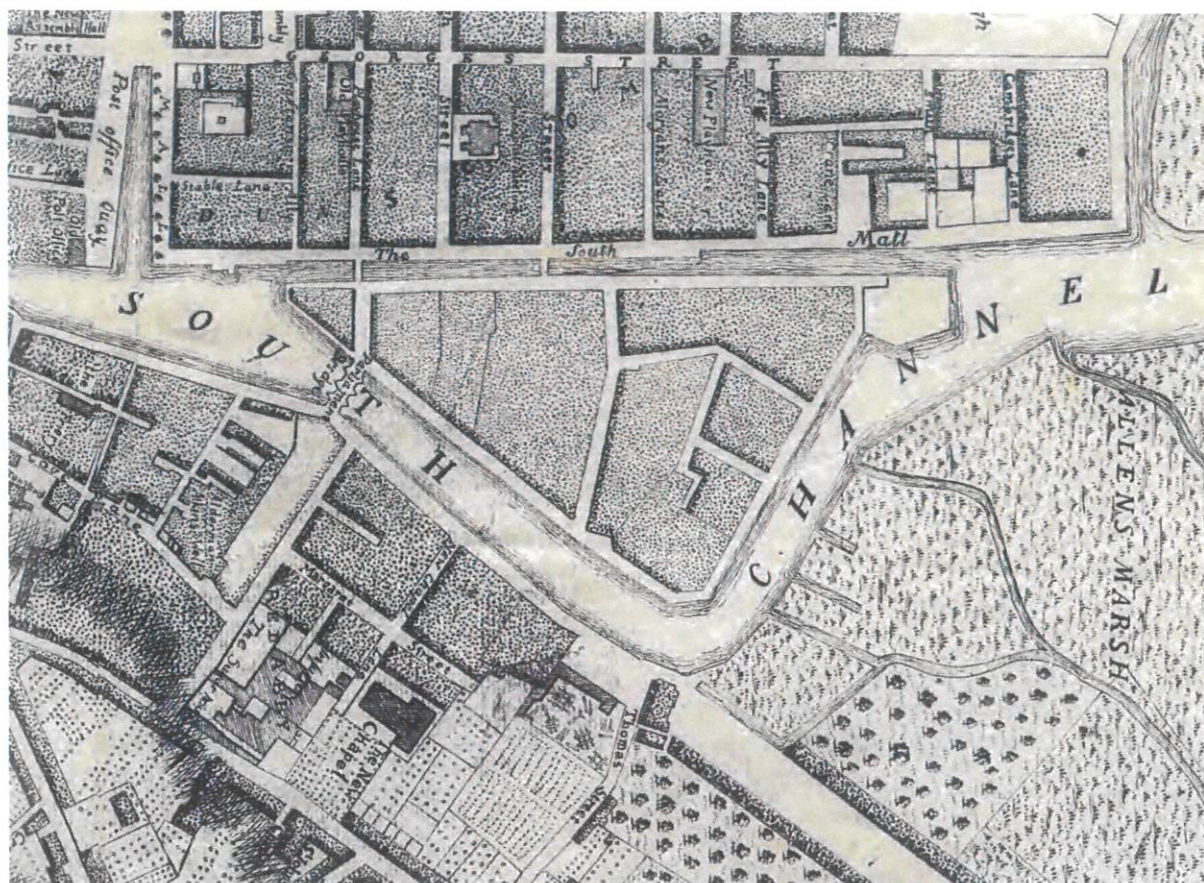


Figure 5: Section from Rocque's 1773 map of the city.

The location of No 7 Fr Mathew Quay is shown as a single block of buildings, however this is likely to be a stylistic feature of the map and may not indicate such dense development in reality. Later maps certainly show yards and internal courtyards within this block.

In Murphy's 1789 (Figure 6) map the alignment of the terrace (that 7 Fr Mathew Quay is part of) is shown correctly (in its offset from the line of the quay itself). This confirms that the building in question was built or at least under construction by this date. What is now Fr Mathew Quay is labelled 'Mc Cartys Buildings' on this map.

Later mapping documents the continued development of the island to the south and east and by the mid-19th century the Ordnance Survey map (Figure 7) shows the river channel on the South Mall built over, Morrisons Quay and Charlotte Quay fully developed and named, Georges Quay named, and significant development to the south of the south channel. What is today Father Mathew Street is named Queen Street. By this time Morrisons Island had become an important commercial and industrial centre, with a particular focus on the manufacture of preserved provisions. Morrison's Island was also noted as a residential area for members of the legal and medical professions.



Figure 6: Section Murphy's 1789 map of the city.

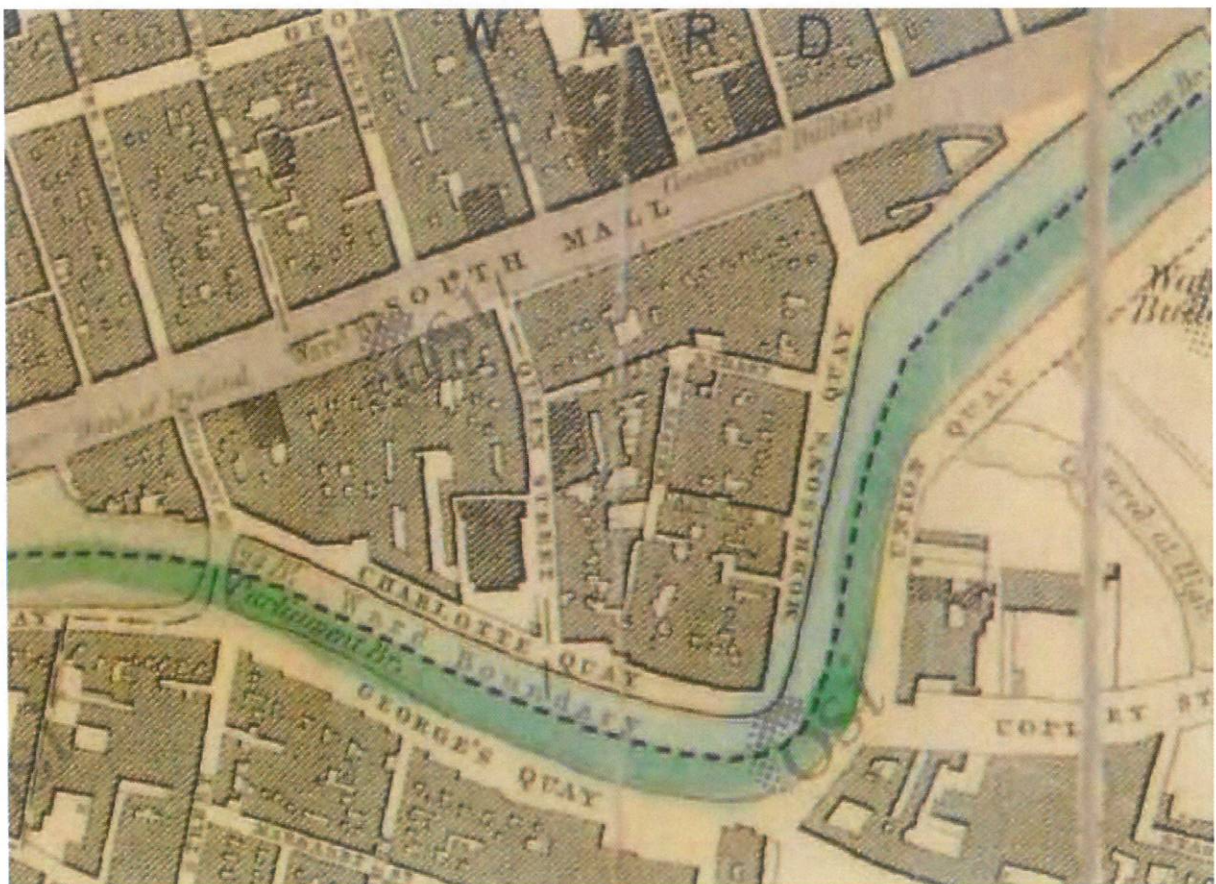


Figure 7: section from the 1st ed. OS map of Cork City (surveyed 1837).

Moore's map of the City in 1857 shows similar levels of development (with less detail) than the OS map, the next cartographic source to show evidence of the construction on the development site are the Goad Insurance maps. These maps were created to aid insurance companies in assessing fire risks by C. E. Goad & Co. Goad was not the only firm to create such plans, however it was the largest and most prolific. The large-scale plans of urban areas includes footprints and addresses for each building, its use, height and some information on construction materials and fire hazards, such as chemicals, kilns, and ovens. Seventeen editions of the Goad plans for Cork city, from 1897 to 1961, are held in Cork City Library. Morrisons Island is shown on Sheet 14 in all editions. The 1897 Goad plans indicate that 7 Fr Matthew Quay was four and a half storeys tall, (the half being the attic level). It is interesting to note that the neighbouring properties in the terrace are both shown as 5 storeys tall at this point. It is also shown with triple pitch slated roof, 1 and 2 storey addition at rear, carriageway passing front to rear and a number of blocked windows on east side. The building is shown with very few changes over the following editions of the Goad insurance plans except that it is described as a 'Hotel & Dwelling' in 1947 and by 1957 had been converted to offices.

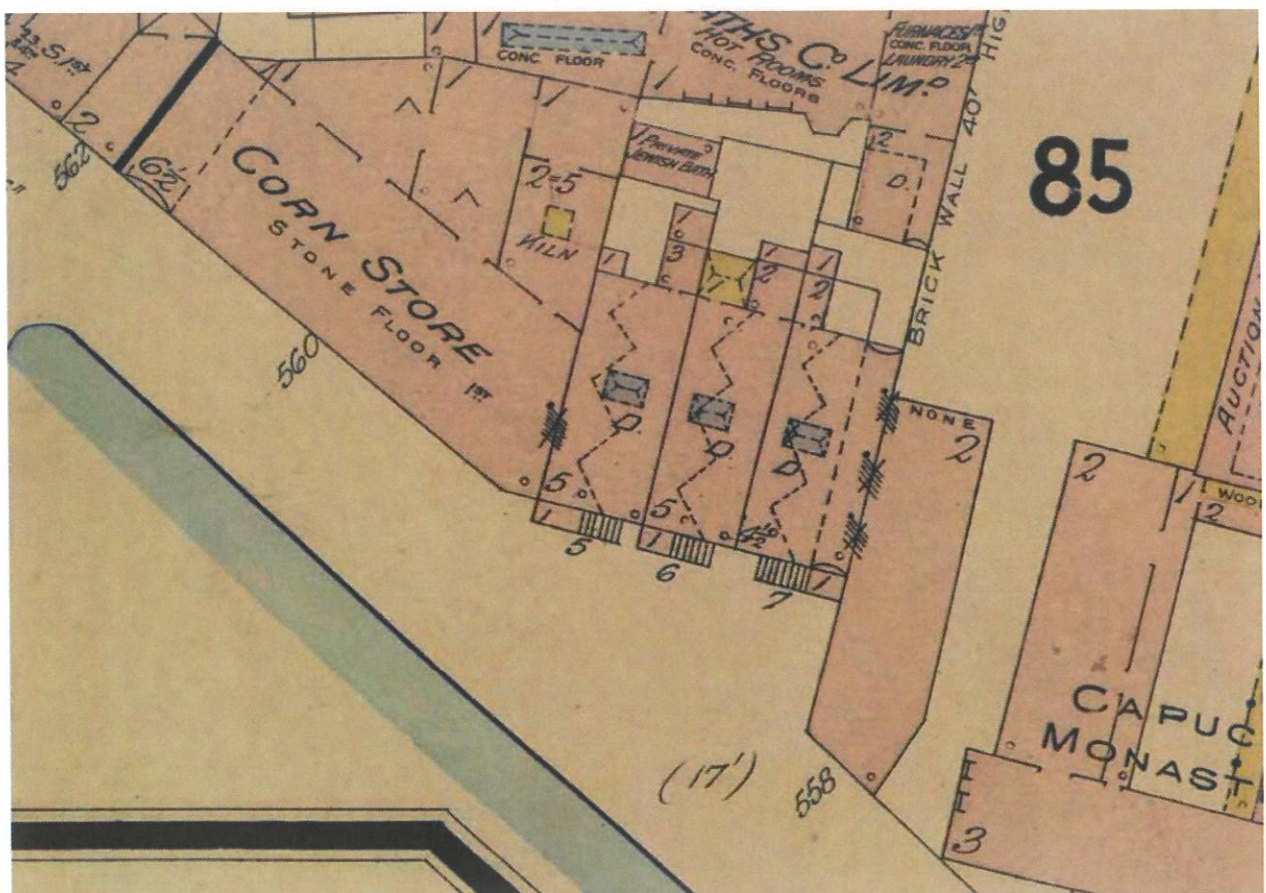


Figure 8 Goad insurance map sheet 14 (extract) 1897.

4. Standing Building Survey

See the accompanying drawing suite for record drawings, **Drawings 03-06**.

Exterior

Front

The building is an attached three bay four story with attic former house, most recently in use as an office. Elevated entrance set to first floor level approached by flight of ribbon dressed nosed limestone steps with wrought iron handrail having pointed finial, flight in T shaped plan shared with neighbouring building to the west. Yellow, black and red quarry tile platform at first floor approaching door. Hipped slate roof with smooth rendered plinth course. Smooth rendered painted walls, painted limestone plinth course between ground and first floor, render string course defining base of roof pediment, continuous render sill course to third floor, moulded continuous render sill course to second floor. All string course detailing shared with neighbouring building to west. Lined and ruled render to steps, with some render having fallen away to reveal roughly squared limestone block wall. Square headed window opening to ground floor with segmental headed timber sliding sash window (two over two). Square headed window openings to first second and third floors with one over one pane timber sliding sash windows (no original glass apparent). Moulded render architraves to second and third floor windows, shouldered chamfered panels flanking first floor window reveal, and with lined voussoir detail (render) over, with decorative keystone detail having vermiculated panel. Moulded cornice over. Segmental headed carriage arch opening to ground floor in flight of steps, having limestone block and start reveal and with rendered voussoirs having dropped enlarged keystone detail, with double leaf aluminium security doors having decorative grating. Possible remains of former strap hinges to west side, and with limestone guard stones to pavement either side (one now engaged in wall of neighbouring friary to east). Round headed door opening with moulded reveal, moulded cornice over plain freeze supported by square profile Doric style pilasters having recessed panel detailing. Plain glazed overlight, six panel single leaf timber panel door (replacement).

Rear

Harl rendered walls to rear, cast iron circular profile rainwater goods. Exposed brick to eaves- likely originally timber eaves boards (to match neighbour). Roofline continuous with neighbour to this elevation. Carriage arch opening is flat headed to this elevation, with a single storey windowless addition to immediate west (smooth rendered), and with a single bay two storey addition to west of this (harl and smooth rendered walls). Flat roof to single storey addition, mono pitch corrugated iron roof to two storey addition having cast iron rainwater goods. Square headed window openings, one over one pane timber sliding sash to first and second floors, painted timber casement windows to second floor openings. Square headed door opening, now blocked, to two storey addition.



Front (south) elevation showing neighbouring properties.



South elevation.



Steps and railings to south elevation.



View of Fr Mathew Quay and Parliament bridge from the front steps.



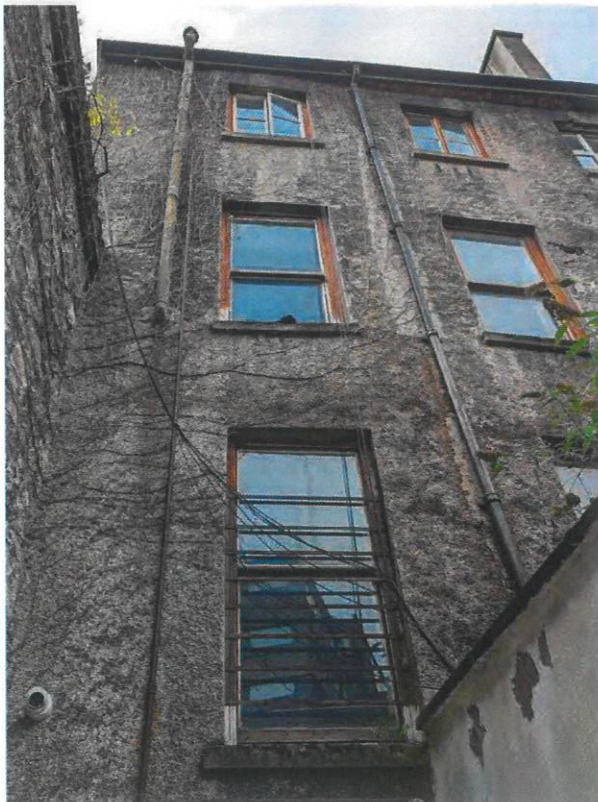
Detail of railing and limestone steps to front.



Carriage arch and doors to passage.



Rear (north) elevation.



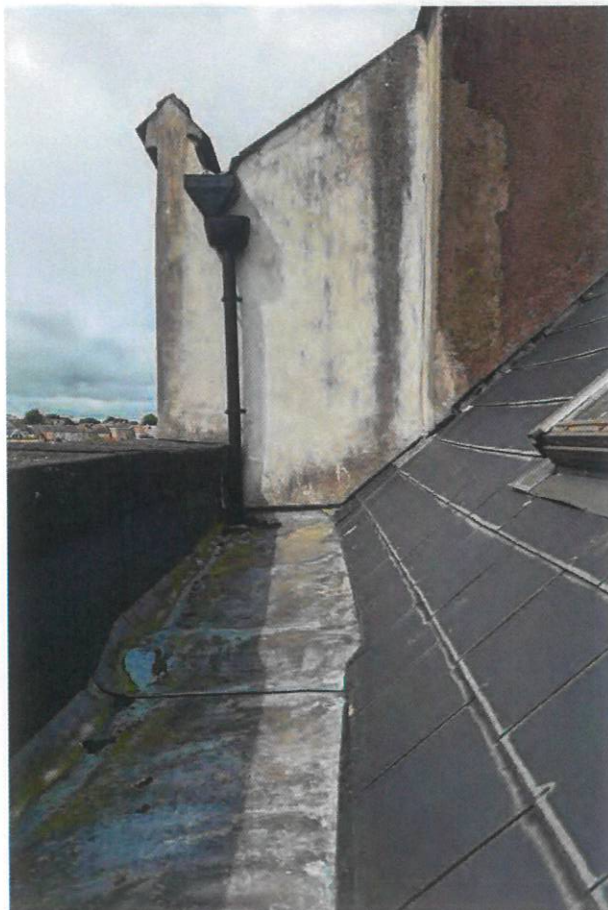
Windows to north elevation.



Rear yard showing passageway and one and two storey additions (middle and right).



Roof of two storey addition at rear.



Detail of parapet and valley also showing gable wall of neighbouring property (6 Fr Mathew Quay)



Roof of single storey flat roof addition at rear.

Roof

Triple pile pitched roof hipped to east and gabled to west. Having synthetic slates and ridges with leaded valleys. Parapet with leaded valley and pitched roof dormer window at front (south elevation). Contains eleven rooflights all in modern double glazed 'Velux' style. One large (14 flue) chimney survives aligned along the party wall at the northern pile of the roof and shared with the neighbouring property. The chimney that would have existed to service the fireplaces at the front of the house has been removed at some point in the past although the projection of its base can be seen in the east gable of the neighbouring property (6 Fr Matthew Quay). The roofline of the rear two piles matches the roof line of the neighbouring properties (5 & 6 Fr Mathew Quay) while the roof line of the front pile in the neighbouring properties is higher (allowing for the full 5th storey on the front elevation of nos 5 & 6 Fr Mathew Quay).

Ground floor (Basement)

G01

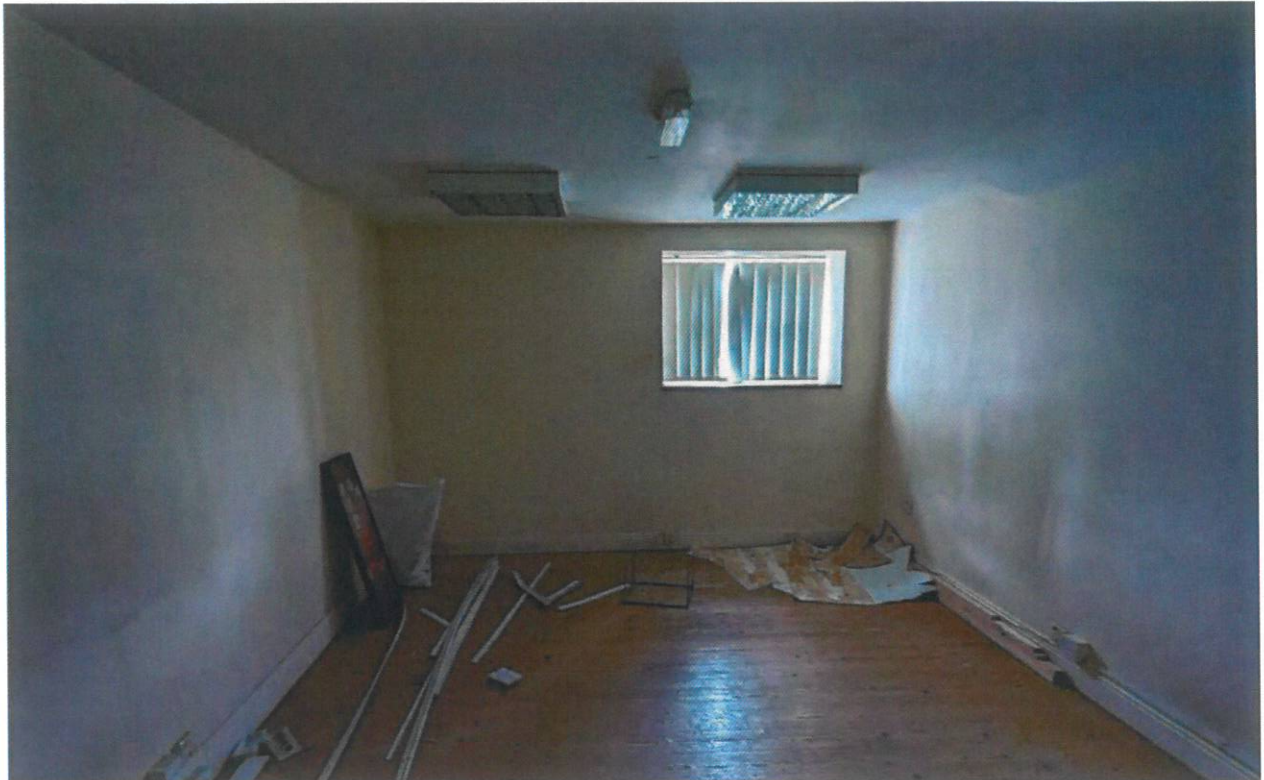
Rectangular plan room, lit by one window in south wall and accessed via a door from the stairwell G03 to north. Timber boarded floors, plasterboard walls and ceilings, timber moulded skirting boards. Plain plastered reveal to window with timber sill. The north west corner of room has plaster boarded section on diagonal plan with vent panel suggesting the location of a former corner fireplace but the placement does not line up with chimney breasts on floors above.

G02

Long rectangular plan passage providing access from front to rear of property. Accessed by double leaf doors in carriage arch to front and open square headed opening to rear with modern glazed and panelled doorway providing access to stairwell G03. Concrete floor plastered walls and concrete board ceiling.

G03

Open well staircase accessing all floors. Open string staircase with decorative foliate detail (acanthus leaf, rose and scroll detail to each step). Nosed steps with moulded detail to riser top. Timber wall string with moulded top. Turned timber spindles with larger turned timber newel posts continuous handrail, no finials, having painted timber graining detail. Plastered underside to stair flight with timber panelling (reused) enclosing understairs at lower level. Tiled floor and plastered walls and ceilings. Door openings to south and north have moulded timber architraves while glazed and panelled door to passageway at east has plain plastered reveals. Services cupboard on east wall has modern moulded timber architrave with concrete block, brick and plaster walls internally.



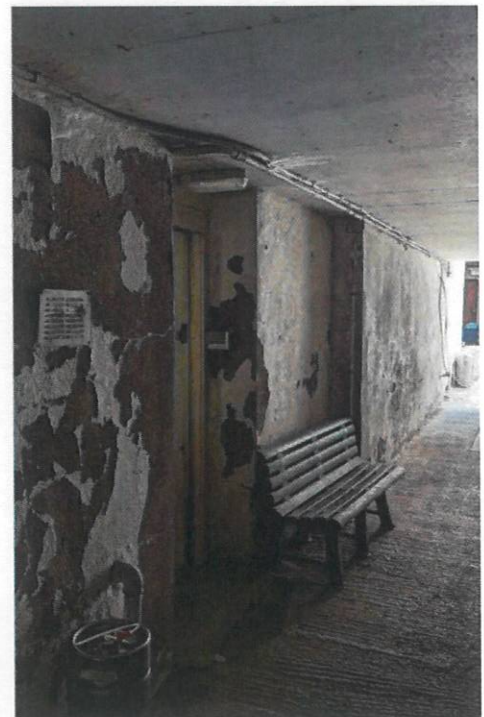
Room G01 looking south.



Room G02 looking north



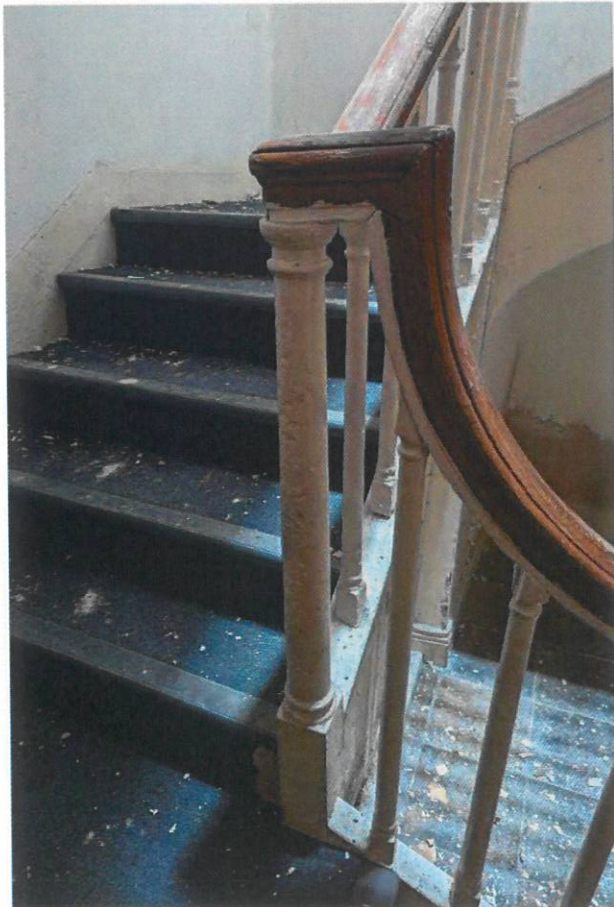
Passageway G02 looking south.



Passageway G02 looking north showing door to G03.



Stairwell G03 looking south west.



Detail of banister to stairs in G03.



Room G03 looking east.



Room G04 looking south.



Room G04 looking north.



Interior of boarded up fireplace in G04.



Room G04 looking west showing door to G05.



Room G05 looking north.

G04

Rectangular plan room, lit by a lightbox to north and accessed via a door from the stairwell G03 to south. Laminate floors, plaster and plasterboard walls, plasterboard ceilings, timber moulded skirting boards. A plasterboard projection along west wall reflects the location of the chimney breast and a hole in the plasterboard reveals a large camber headed fireplace with side flue for an oven or range.

A modern blockboard door with moulded timber architrave provides access toilet G05

G05

Small roughly L shaped toilet room with no natural lighting accessed by a door from G04. Tiled floor and walls, plasterboard ceiling and modern WC fitting.

First Floor

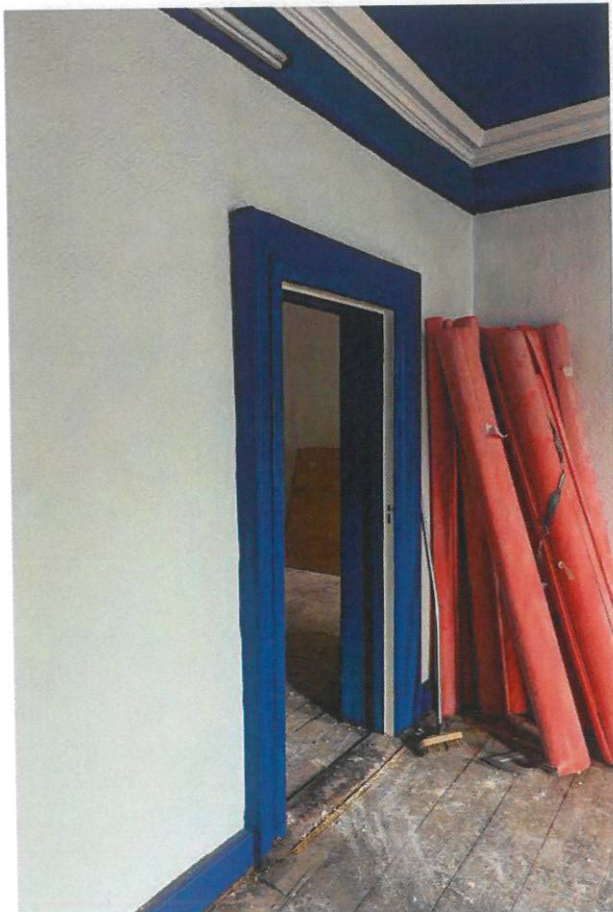
This is the most decorative floor, the building being in classical arrangement with this as the piano noble.

F01

Roughly square room lit by pair of windows to front (south) wall and accessed via doors in the east and north walls. Smooth plastered ceiling with three stepped moulded architraves, moulded picture rail and painted textured wallpaper coving to walls. Fireplace in square profile projecting chimneybreast to west wall, having decorative cast iron reveal and coloured art nouveaux style tiled side panels. No mantle or outer surround. Timber boarded floors, timber skirting boards with rolled top detail. Moulded timber architrave to window openings with panel detail to top, and simpler timber batten to sides. Timber sill with stepped edge. No shutters apparent although side reveals of window are recessed behind architrave which probably once provided space for shutters. Deep moulded timber architrave to door openings.



Stairwell F01 looking south.



Door architrave in F01.



Fireplace in F01.



Room F01 looking southeast.

F02

Entrance door front elevation opening into lobby area which in turn opens into L plan hallway with stairs. Lobby area having limestone impost detail at base of round headed arched opening to main door. Timber boarded floors, smooth plastered ceiling and walls. Double width door opening to hallway, with moulded timber frame, square headed overlight comprising five panes of vertically set plain glass windows – those to outer edges slightly smaller. Door opening flanked by square headed plain glazed side lights on undecorated timber risers. Main hallway having timber boarded floor, changing direction at corner. Timber skirting boards, plaster ceiling (plasterboard near lobby) and walls. Circular ceiling rose with foliate and vine detailing and simple roll moulded border to ceiling (absent to east and in lobby area). Open well staircase accessing all floors set to southwest of hallway. Open string staircase with decorative foliate detail (acanthus leaf, rose and scroll detail to each step). Nosed steps with moulded detail to riser top. Timber wall string with moulded top. Turned timber spindles with larger turned timber newel posts continuous handrail, no finials, having painted timber graining detail. Baluster rising in height at upper levels of stairs. Round headed niche with moulded timber architraves to half landings, shouldered oval panels to underside of stair flights.

F03

Rectangular plan room, lit by pair of windows in north wall and accessed via door in north wall of hallway east of stairwell. Fireplace projecting to west wall. Timber boarded floors, plastered walls and ceilings, moulded architrave. Timber skirting boards. Moulded timber architraves to windows having timber panelled reveals with timber batten to riser area. Timber panelled reveals to windows have been truncated at bottom where the timber battening has been inserted. Scar to wall and loss of ceiling architrave between windows where a stud partition wall was inserted in the past (now removed). Timber moulded architraves to door openings. Fire surround tiled with c.1950s style brown ceramic tiles, opening blocked, no mantel remains.

F04

Small rectangular room to rear of property in two storey addition. Lit by window to east wall. Timber boarded floor plastered walls and ceiling, moulded skirting boards and simple roll moulded detail to timber window architrave.



F02 looking south towards front door.



Ceiling rose and cornice detail.



Lobby screen to hall.



F02 looking west.



Stairwell looking up from F02.



Detail of stairs.



Niche to stairs between 1st and 2nd floor.



Detail of applied wood grain effect on handrail.



Room F03 looking NE.



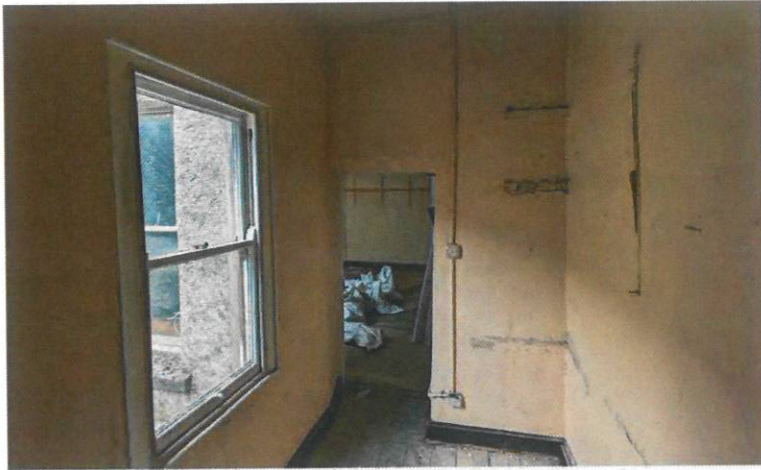
Window, reveal and architrave.



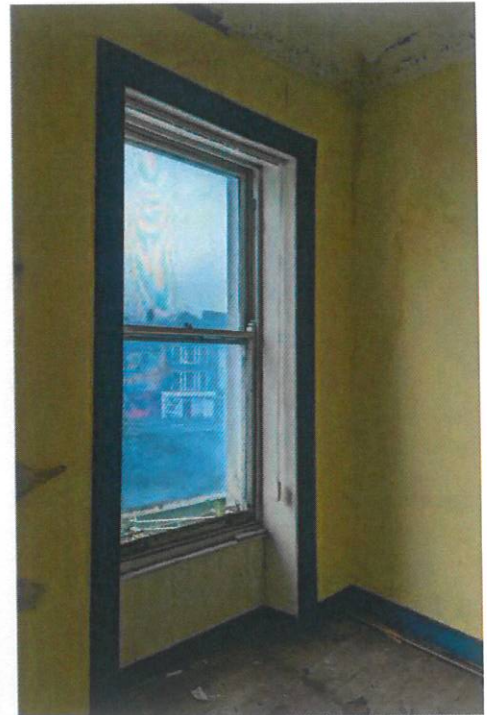
Room F03 looking SW.



Fireplace in F03.



Room F04 looking south.



Window in S01.



View from F04 over roof of G04 and windows to F03.



Room S01 looking south.

Second Floor

S01

Rectangular plan room, lit by three windows in south wall and accessed via a door from the landing in S02 to the north. Fireplace in square profile projecting chimneybreast to west wall, having partial fire surround, formed of late twentieth century brick and no mantel. Removed floor boards reveal a mix of adze dressed and sawn joist timbers and plasterboard ceiling beneath. Timber boarded floors (partially removed), plastered walls and ceilings, moulded architrave. Timber skirting boards (partially removed). Moulded timber architraves to windows having plain timber reveals with timber batten to riser area. Scar to wall and loss of ceiling architrave in eastern portion of room where a stud partition wall was inserted in the past (now removed). Timber moulded architraves to door openings. Fire surround, formed of late twentieth century brick, has been partially removed and no mantel remains.

S02

Open well staircase and landing. Open string staircase with decorative foliate detail (acanthus leaf, rose and scroll detail to each step). Nosed steps with moulded detail to riser top. Timber wall string with moulded top. Turned timber spindles with larger turned timber newel posts continuous handrail, no finials, having painted timber graining detail. Round headed niche with moulded timber architraves to half landing (to first floor), shouldered oval panels to underside of stair flights and moulded plaster architrave to ceiling of landing. East wall of landing contains a large (now partially blocked) opening with three centered arch over, timber moulded architraves and a glazed fanlight containing historic blown cylinder glass. A late twentieth century door open with plain architrave provides access to S03 while door openings to S01 and S02 have timber moulded architraves. No doors survive.

S03

Small rectangular plan room, lit by two windows high in east wall and accessed via a door from the landing in S02 to the west. Timber boarded floors, plastered walls and ceilings. The door is formed within a large partially blocked open three centered arch over, with glazed fanlight and plain plastered reveals. Previously in use as a toilet area with scars and remnants of services still evident.



Room S01 looking west.



Door architrave and partition scars in S01.



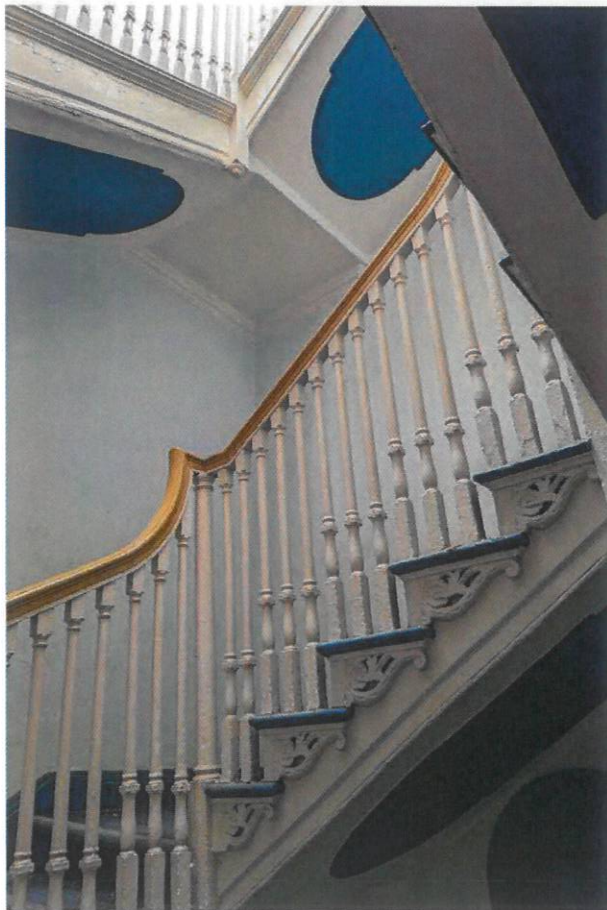
Plasterwork to room S01.



S02 looking west.



Stairwell S02 looking east.



Stairs in S02 looking up.



Detail of fanlight glazing.



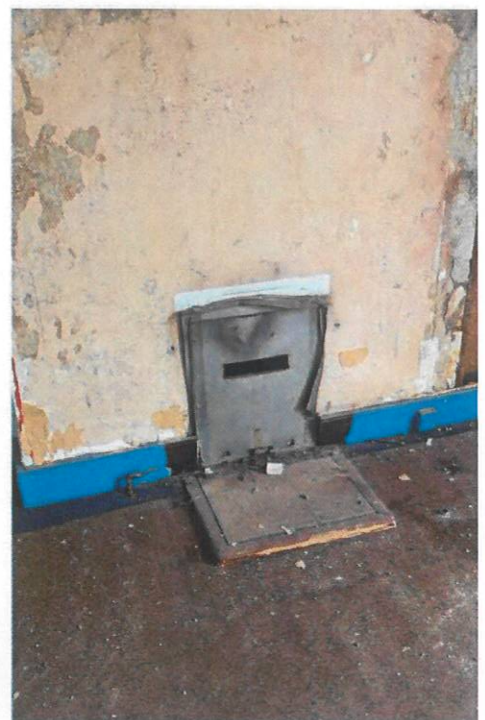
S02 looking north.



Room S04 looking north.



Room S04 looking northwest



Fireplace in S04.



Partially Removed floor in S04.

S04

Rectangular plan room, lit by two windows in north wall and accessed via a door from the landing in S02 to the south. Fireplace projecting to west wall. Timber boarded floors (removed in parts and blocked up on furring pieces in other), plastered walls and ceilings, moulded architrave. Timber skirting boards. Moulded timber architrave to window openings with panel detail to top, and simpler timber batten to sides. Timber panelled reveals to windows have been truncated at bottom where the timber battening has been inserted. Timber sill with stepped edge. Scars to wall and differing floor treatments are evident in eastern portion of room where a stud partition wall was inserted to divide the room in the past (now removed). Timber moulded architraves to door openings. Fire surround, formed of late twentieth century brick, has been partially removed and no mantel remains. A blocked door opening is evident in the north west corner of the room (matching the location of the doorway to F04 on the floor beneath). This suggests that the existing 2 storey addition at rear was once 3 storeys in height.

Third Floor

T01

Rectangular shaped room lit by three windows to front (south) wall and accessed via 2 doors in the north wall. Floors have been removed revealing sawn timber joists and lath and plaster ceiling beneath. Remnants of timber board floors can be seen in the window recesses. Smooth plastered ceilings and walls with scar from an inserted partition (now removed). Fireplace in square profile projecting chimneybreast to west wall, partially blocked. No mantle or surround survives. Some remnants of timber skirting boards with rolled top detail survive on west wall. Moulded timber architrave to windows having timber panelled reveals with timber batten to riser area. Timber sill with stepped edge. No shutters apparent. Deep moulded timber architrave to door openings.

T02

Open well staircase and landing lit by two windows in east wall. Open string staircase with decorative foliate detail (acanthus leaf, rose and scroll detail to each step). Nosed steps with moulded detail to riser top. Timber wall string with moulded top. Turned timber spindles with larger turned timber newel posts continuous handrail, no finials, having painted timber graining detail. Shouldered oval and round panels to underside of stair flights. Timber boarded floor to landing, plastered walls and ceilings and timber skirting boards. Plaster removed from part of east wall and scars in walls and ceiling show the location of removed dividing partitions and remnants of services still evident. Plain timber board and plaster reveals to windows with some timber battening to southern window.



Room T01 looking southwest.



Detail of door architrave in T01.



Fireplace and floor in T01.



Window reveal and cill in T01.



Room T02 looking towards stairs.



Detail of stair balustrade in T02.



Room T02 looking east.



Room T02 showing twin doors to S01 at south.

T03

Rectangular room lit by three windows to rear (north) wall and accessed via a door to landing in the south wall. Timber boarded floors with timber skirting. Floors have been partially removed to revealing sawn timber joists and lathe and plaster ceiling beneath timber board floors survive in western portion of room. Smooth plastered ceilings and walls in western part of room with scar from an inserted partition (now removed). Ceiling has been removed in eastern portion of room revealing mixture of sawn and hewn timber joists and scars from lathe and plaster ceiling as well as fixings from a later plasterboard ceiling. East wall has been drylined with plastic membrane, studding and plasterboard. Square profile projecting chimneybreast to west wall with no fireplace evident although a fire proof slab survives in floor. Moulded timber architrave to windows having timber panelled reveals with timber batten to riser area. Timber sill with stepped edge. No shutters apparent. Deep moulded timber architrave to door opening somewhat damaged by now removed partitions.

Fourth Floor

C01

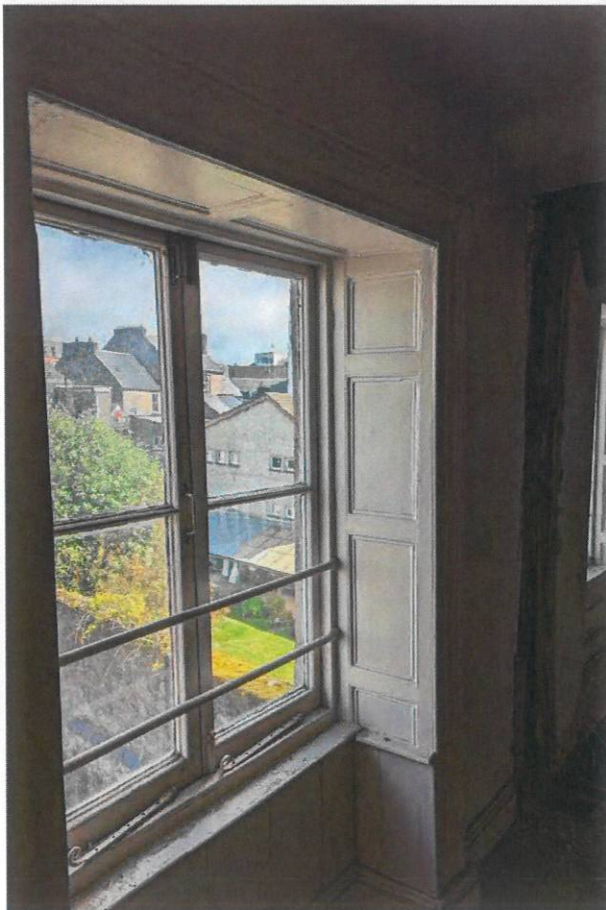
Rectangular plan attic level room, lit by one dormer window and two rooflights and accessed via a door from the landing in C02 to the north. Fireplace in square profile projecting chimneybreast to west wall, having decorative cast iron reveal and fire back. Timber boarded floors, plastered walls and ceilings. Ceiling pitched to follow roof profile with unpainted truss and purlins exposed. Roof timbers are sawn with some waney edges, purlins morticed into rafters with some pegged through tenons. Brick corbels project from west wall to support purlins. Timber skirting boards and plain timber frame to door opening with no architrave.

C02

Open well staircase and landing lit by four roof lights over stairwell. Open string staircase with decorative foliate detail (acanthus leaf, rose and scroll detail to each step). Nosed steps with moulded detail to riser top. Timber wall string with moulded top. Turned timber spindles with larger turned timber newel posts continuous handrail, no finials, having painted timber graining detail. Shouldered oval and round panels to underside of stair flights. Timber boarded floor to landing, plastered walls and plasterboard ceilings and timber skirting boards. Ceiling pitched to follow roof profile with truss and purlins exposed. Roof timbers are modern dimensioned lumber painted to match ceiling. Door openings at north and south have plain timber frame with no architrave while door openings at east have modern timber moulded architraves.



Room T03 looking north.



Detail of casement window in T03.



Room T03 ceiling timbers in eastern part of room.



Door to T03 showing damage from partitions.



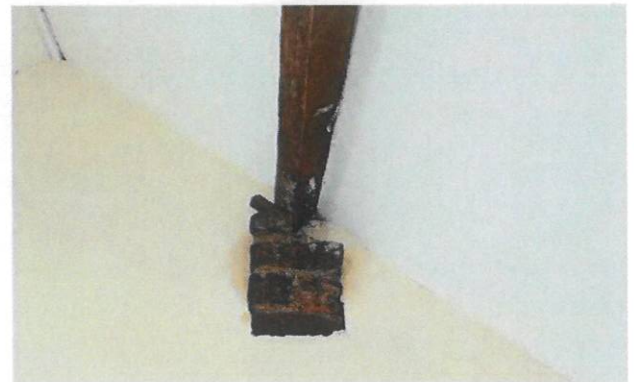
Room C01 looking west.



Exposed roof timbers in C01.



Fireplace to C01.



Brick corbel supporting purlin in C01.



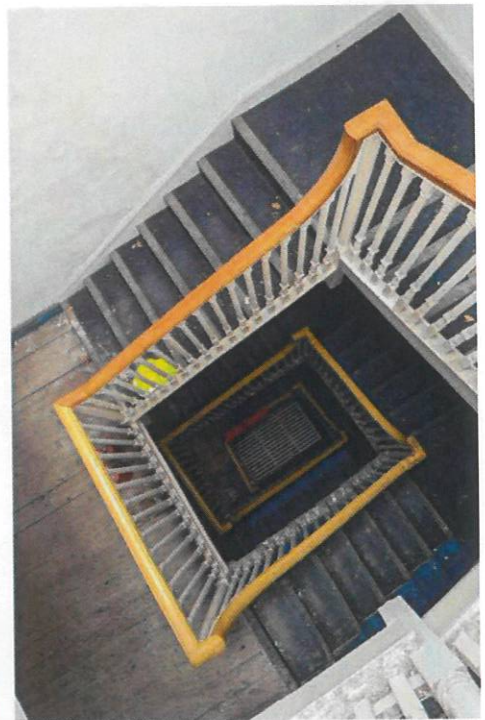
Room C02 looking northeast.



Room C02 looking east



Rooflights in C02



Looking down the stairwell from C02.

C03

Rectangular plan attic level room, lit by two rooflights and one casement window and accessed via a door from the landing in C02 to the south. Timber boarded floors (partially removed at east), plastered walls and plasterboard ceilings. Ceiling pitched to follow roof profile with truss and purlins exposed. Roof timbers are modern dimensioned lumber painted to match ceiling. Timber skirting boards and plain timber frame to door opening with no architrave.

C04

Small square plan canteen room lit by casement window to east and accessed from landing C02 by a door to west. Timber boarded floors, plastered walls and ceilings. Ceiling pitched to follow roof profile with truss and purlins exposed.

C05

Small rectangular plan toilet lit by a small rooflight and accessed from landing C02 by a door to west. Timber boarded floors, plastered walls and ceilings. Ceiling pitched to follow roof profile with truss and purlins exposed.

Appraisal

Important Georgian townhouse on a prominent quayside site dating from late eighteenth century. Significant as part of a group of three and for the flight of stone steps to the front door which is a feature of a number of eighteenth century buildings in this part of Cork. The interior has suffered from the conversion to offices and the various additions inflicted over the twentieth century but nonetheless retains much of its historic character. Most notable is the imposing staircase which survives to the full five storeys.

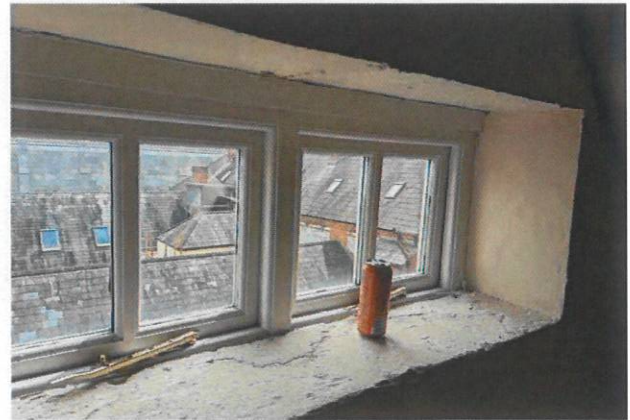
Overall the building appears to be in reasonable condition but it is evident that some historic movement has occurred with floor levels notably sloping in places and having been jacked up on firing pieces to correct the slope in others. There is no significant evidence for ingress of water into the fabric at the current time and the building has clearly been re-roofed sometime in the last twenty years. Some historic water damage is apparent in room S01 where the ceiling and plaster cornice has slumped along the front (south) wall. The stairs appear to be in good condition although some sagging of the corbelled supports is evident. The one over one timber sliding sash windows to the front elevation are in somewhat poor condition mostly seeming to be replacements with poor quality timber and modern glazing. The windows to the rear elevation are in slightly better condition having had less exposure to weather although little historic glazing is evident.



Room C03 looking east.



Exposed roof timbers in C03.



Casement window to C03.



Room C04 looking east.

1. Assessment, Impacts and Mitigations¹

This section should be read in conjunction with **Drawings 07-9** and the accompanying (architect's) drawing suite that present the proposed alterations, interventions and repairs as designed by QDM Architecture, architectural consultants to the project. The proposed development No 7 Fr Mathew Quay involves the conversion to residential use and the division into 5 units (four apartments and one office). In order to maintain the character and surviving features of the protected structure the scheme has been designed to minimise intervention to historic fabric. As such demolition impacts are minimal with only the removal of modern partitions and divisions on the interior and the removal of a twentieth century flat roof and insertion of new doorway in the rear yard.

Alterations

The proposal includes a number of alterations to the internal layout of the protected structure including the insertion of new partitions and internal doors. While modification such as these are not necessarily welcomed on a protected structure it should be noted that the continually evolving use of the building over the years has already resulted in the diminution of many of the original features and the scars of recent partitions are still visible. The conversion of the building to residential use provides for a viable use for this empty protected structure. These alterations are considered necessary in order to bring the building into residential use. All attempts will be made to minimise the impacts of these where necessary and all will be done under the oversight of a buildings archaeologist or conservation architect. In order to improve the thermal performance of the building the developer has proposed replacing all windows with replacement timber sliding sash windows with slimline double glazing.

Repairs and Restoration

The interior has suffered from the conversion to offices and the various additions inflicted over the twentieth century but nonetheless retains much of its historic character and there are a number of features of architectural significance surviving on site as discussed above. It is proposed to preserve and repair these in situ where possible.

Impacts

The impacts discussed below are divided into demolitions (indicated in red on the accompanying plan) and alterations (indicated in yellow).

¹ NOTE ON MITIGATION RECOMMENDATIONS

All mitigation measures are recommendations only and the decision on implementation, amendments, etc. rests ultimately with the Planning Authority – Cork City Council, with advice from other consultative bodies such as the Built Heritage Policy Unit of the Development Applications Unit of the Department of Housing, Local Government and Heritage.

Demolitions

- Demolition action 1:** Demolition of flat roof to single storey addition at rear.
- Reason: To return this to its former use as an enclosed yard space
- Impact: Physical - minimal
- Mitigation: Care should be taken to protect the walls around the removed roof particularly in terms of the north wall of the main house which may need some consideration for its structural support once the roof is removed. Demolition should be confined absolute minimum to achieve the required action. The work should be scheduled under the guidance and supervision of a supervising architect and attending conservation specialists; with appropriate records created and maintained.
- Demolition action 2:** Demolition of portion of rear wall to yard area to create a new doorway.
- Reason: To provide appropriate access to rear yard.
- Impact: Limited Physical impact to historic fabric that has already been
- Mitigation: Demolition should be confined to the absolute minimum to achieve the required action. The work should be scheduled under the guidance and supervision of a supervising architect and attending conservation specialists; with appropriate records created and maintained.
- Demolition action 3:** Demolition of corner feature of unknown character is G01.
- Reason: To improve visual clarity and remove modern accretion.
- Impact: To be confirmed see below.
- Mitigation: Existing plasterboard lining in this area should be carefully removed in advance of works to investigate if any historic features survive in this corner. If features of note do survive the proposed works in this area should be reviewed in consultation with the conservation officer. Care should be taken to minimise impact on surrounding fabric at all times.
- Demolition action 4:** Demolition of portions of interior walls in S01/S03 and S03/S04 to create two new doorways.
- Reason: To allow for the conversion to apartments.
- Impact: Physical impact to historic fabric, visual impact

Mitigation: Demolition should be confined to the absolute minimum to achieve the required action. The work should be scheduled under the guidance and supervision of a supervising architect and attending conservation specialists; with appropriate records created and maintained.

Demolition action 5: Demolition of portion of interior wall in T02/T03 to create a new doorway.

Reason: To allow for the conversion to apartments.

Impact: Physical impact to historic fabric, visual impact

Mitigation: Demolition should be confined to the absolute minimum to achieve the required action. The work should be scheduled under the guidance and supervision of a supervising architect and attending conservation specialists; with appropriate records created and maintained.

Demolition action 6: Removal of existing modern partitions to interior at fourth floor level between rooms C02, C04 and C05.

Reason: To allow for the change of use of the interior.

Impact: Minimal removal of modern accretion.

Mitigation: Care should be taken protect the walls and historic fabric throughout. Demolition should be limited to a confined an area as possible to achieve the desired result.

Alteration action 1: Infill of an opening in rear wall (mid twentieth century in date) that had been created to allow the expansion of G04 into the single storey addition. And the creation of a door and window in this infill.

Reason: To allow the return of the single storey addition to its former use as an enclosed yard space.

Impact:

Mitigation: The interface between new structure and original floors and walls should be designed to minimise the impact on historic fabric.

Alteration action 2: Insertion of new door and reopening of a historic window opening in G05.

Reason: To allow this space to function as a bathroom and toilet.

Impact:

Mitigation: Removal of fabric should be confined to the absolute minimum to achieve the required action. The work should be scheduled under the guidance and supervision of a supervising architect and attending conservation specialists; with appropriate records created and maintained.

Alteration action 3: Insertion of new partition in G03.

Reason: To allow for appropriate access to new office suite in G04 & G05.

Impact: Limited physical impact to floors ceilings and walls. Visual impact to stairwell

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 4: Insertion of new partition in F01.

Reason: To allow for insertion of a toilet.

Impact: Limited physical impact to floors ceilings and walls. Visual impact to front room.

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric particularly in the case of the moulded plaster cornice in the ceiling of this room. It is not proposed to run a new cornice to match on the new partition. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 5: Insertion of new partitions in F02 including a wet room, hall and cupboards.

Reason: To allow for insertion of a toilet and lobby for apartment No 1.

Impact: Limited physical impact to floors ceilings and walls. Notable visual impact to stairwell.

Mitigation: A twentieth century partition did exist in this location (now removed).The interface between new structure and existing floors should be designed to

minimise the impact on historic fabric particularly in the case of the moulded plaster cornice in the ceiling of this room. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

- Alteration action 6:** Insertion of new partition and door in F03.
- Reason:** To allow for the division of this large room and the insertion of bedroom.
- Impact:** Limited physical impact to floors ceilings and walls. Visual impact to front room.
- Mitigation:** The interface between new structure and existing floors should be designed to minimise the impact on historic fabric particularly in the case of the moulded plaster cornice in the ceiling of this room. It is not proposed to run a new cornice to match on the new partitions. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.
- Alteration action 7:** Blocking of historic door opening between F01 & F02.
- Reason:** To allow for the conversion to apartments.
- Impact:** Physical impact to doorway, and adjacent floors and walls. Visual impact to stairwell and rooms.
- Mitigation:** The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Existing historic door architraves to be left in situ care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 8: Insertion of new partitions in S03 to create bathroom and storage and a fire resistant stud to double up existing partition with historic fanlight.

Reason: To allow for the conversion to apartments and for fire safety considerations.

Impact: Limited physical impact to floors ceilings and walls. Visual impact.

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric particularly in the case of the historic fanlight that overlooks the stairwell. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 9: Blocking of historic door openings between S03 stairwell and S01 and S04.

Reason: To allow for the conversion to apartments.

Impact: Physical impact to doorway, and adjacent floors and walls. Visual impact to stairwell and rooms.

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Existing historic door architraves to be left in situ care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 10: Insertion of new partitions, doors and a bathroom in S04.

Reason: To allow for the division of this large room and the insertion of bedrooms and a bathroom.

Impact: Limited physical impact to floors ceilings and walls. Visual impact to room.

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric particularly in the case of the moulded plaster cornice in parts of the ceiling in this room. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the

positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

- Alteration action 11:** Insertion of new partitions, doors and a bathroom in T02.
- Reason: To allow for the conversion to apartments and for fire safety considerations.
- Impact: Limited physical impact to floors ceilings and walls. Visual impact to stairwell.
- Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.
- Alteration action 12:** Insertion of new partitions, doors and a bathroom in T03.
- Reason: To allow for the division of this large room and the insertion of bedrooms and a bathroom.
- Impact: Limited physical impact to floors ceilings and walls. Visual impact to room.
- Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.
- Alteration action 13:** Insertion of new partitions, doors and a bathroom in C02, C03 and C04.
- Reason: To allow for the conversion to apartments and for fire safety considerations.
- Impact: Limited physical impact to floors ceilings and walls. Visual impact to stairwell.
- Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Where existing historic door architraves

exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Alteration action 12: Insertion of new partitions, doors and a bathroom in C03.

Reason: To allow for the division of this large room and the insertion of bedrooms and a bathroom.

Impact: Limited physical impact to floors ceilings and walls. Visual impact to room.

Mitigation: The interface between new structure and existing floors should be designed to minimise the impact on historic fabric. Where existing historic door architraves exist in the vicinity of the new partition care should be taken in the positioning of the partitions to avoid obscuring or damaging the fabric. Care should be taken to ensure that the partition and any new fittings are of high quality materials, a high standard of finish is expected. Mounting points should be minimised and designed to interface with existing ceiling and structure with as little impact as possible.

Repair action 1: Repairs and or replacement to windows

Reason: To maintain the integrity of the building.

Impact: Positive physical and visual impact.

Mitigation: Work should be carried out by tradespeople specialising in the restoration and repair of historic windows. The opportunity should be taken to upgrade staff and parting beads of sliding sash windows with brushes to improve draught proofing. In cases where sash, frame, window or door is deemed irreparable it should be replaced like for like with matching details. The work should be scheduled under the guidance and supervision the attending conservation specialists; with appropriate records created and maintained.

Repair action 2: Repairs to rainwater goods and downpipes on south and north elevations

Reason: To maintain the integrity of the building.

Impact: Minimal physical impact to original fabric.

Mitigation: Repairs of existing goods should be preferred and where replacement is required should be done with conservation grade materials in a like for like manner.

Repair action 3: Repairs to front door

Reason: To maintain the integrity of the building.

Impact: Positive physical and visual impact.

Mitigation: Work should be carried out by tradespeople specialising in the restoration and repair of historic windows. The opportunity should be taken to upgrade staff and parting beads of sliding sash windows with brushes to improve draught proofing. In cases where sash, frame, window or door is deemed irreparable it should be replaced like for like with matching details. The work should be scheduled under the guidance and supervision the attending conservation specialists; with appropriate records created and maintained.

Repair action 4: Replacement of internal doors

Reason: Nearly all internal doors are missing/removed.

Impact: Positive physical and visual impact.

Mitigation: Solid timber panelled fire doors in appropriate (Georgian) style should be specified (style to be agreed with conservation officer). Work should be carried out by tradespeople specialising in the restoration and repair of historic windows. The work should be scheduled under the guidance and supervision the attending conservation specialists; with appropriate records created and maintained.

5. Conservation Mitigation Measures

The proposed development no 7 Fr Mathew Quay will involve several impacts on the physical and visual aspects of the site the proposals to convert this protected structure itself to residential use entail some necessary alterations which will remove some elements of historic fabric (detailed above). However, overall, it is felt that the new development is relatively sympathetic to the historic character of the building.

General Approach to Built Heritage Works

No 7 Fr Mathew Quay is part of a Protected Structure, and as such requires an appropriate conservation best practise approach. While the foregoing inspection of the property demonstrates that it has seen several interventions and alterations over the years it remains at the core an impressive Georgian era townhouse on a prominent location on the city quays. The works proposed for 7 Fr Mathew Quay shall be carried out in a controlled, methodical manner; which takes cognisance of *Architectural Heritage Protection Guidelines for Planning Authorities* (issued by the Dept. Arts, Heritage and the Gaeltacht 2011), and will follow the conservation philosophies of the ICOMOS Charters agreed in Venice and Burra. Specific method statements for the proposed works are detailed in the *Building Condition & Works Method Statement* by John Hegarty of Foureem Conservation (to be included alongside this report). Nonetheless, it is considered advantageous to include in this report the following general principles that should be applied; most particularly those of repair rather than replacement, minimum intervention, and reversibility.

- It is proposed to retain/repair in-situ existing building fabric, timber floors, ceilings, stone boundary wall, historic pedestrian entrances.
- Existing roof timbers including all primary members will be retained and repaired where possible, to include the splicing of structural timbers.
- All existing external joinery including windows, and doors will be retained and repaired where necessary.
- Every effort should be made to match existing building technologies when repairing existing building fabric. This should extend to the use of traditional, breathable materials such as lime mortars and renders, which will contribute to the long-term preservation of the structure.
- Periodic recording of the work as it progresses should be undertaken as part of the conservation exercise, with a final report produced on completion of works outlining all works under taken. The records can be through written, drawn and photographic means as required.
- The scope of work outlined below is a putative schedule based on a visual inspection of the building as it stands now. As discussed above much of the original features have either been removed or are hidden under modern fabric and as such it is anticipated that a more targeted schedule of conservation works will need to be drawn up once opening up works are complete.
- Consequently it is imperative that any further discoveries involving the building fabric made during clearing and preliminary work should be examined first by the supervising architect and conservation specialists before an on-site decision is made.

Demolition

Demolition is to be carried out in a controlled, methodical manner, removing the absolute minimum fabric necessary to achieve the required action. The demolition should be scheduled under the guidance and supervision of the supervising architect and attending conservation specialists; with appropriate

records created and maintained. Health and safety, as well as fabric and structural integrity, will be paramount during demolition.

Repairs

Repairs are to be carried out in a controlled, methodical manner, impacting the absolute minimum fabric necessary to achieve the required action. Every effort should be made to match existing building technologies when repairing existing building fabric. This should extend to the use of traditional, breathable materials such as lime mortars and renders, which will contribute to the long-term preservation of the structure.

Specialist contractors, suitably experienced in their field, will be required to effect repairs to walls, renders, ceilings, joinery, window openings after installation of new doors and windows and all should be briefed on the built heritage nature of 7 Fr Mathew Quay in advance of works. The specialist contractors will work in conjunction with the supervising architect and attending conservation specialists. The approach by each specialist contractor will be guided by task specifics, in a controlled, methodical manner.

6. Sources, References & Guidelines Consulted

- *Record of Monuments and Places for County Cork*, 1998;
- National Monuments Database -;
- Ordnance Survey Historic Mapping – Glucksman Map Library Trinity College Dublin;
- Griffith's Valuation of Ireland - <https://www.askaboutireland.ie/griffith-valuation/>;
- National Inventory of Architectural Heritage (NIAH) – www.buildingsofireland.ie;
- National Archives of Ireland - *Census of Ireland 1901* - <http://www.census.nationalarchives.ie/>;
- Kieran McCarthy http://corkheritage.ie/?page_id=6235
- Life and works of Sir John Benson. www.dia.ie;
- *Cork City Development Plan 2022-2028*;
- Dept. of Department of the Arts, Heritage and the Gaeltacht - *Architectural Heritage Protection Guidelines for Planning Authorities*, 2011;
- Dept. of Housing, Local Government and Heritage - *A Living Tradition: A Strategy To Enhance The Understanding, Care And Handing On Of Our Built Vernacular Heritage*, 2021.