



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Donal O'Brien,  
c/o Denis O'Sullivan & Associates Engineers,  
Joyce House,  
Barrack Square,  
Ballincollig,  
Cork, P31 KP84.

24/04/2024

**RE: Section 5 Declaration R830/24 11-15 Bridge Street Cork.**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 01/03/2024, I wish to advise as follows:

- Sections 2, 3 and 4 of the *Planning and Development Act 2000* (as amended), and
- Articles 6 and 9, and Class 20F as set out in Schedule 2, Part 1, of the *Planning and Development Regulations 2001* (as amended),

It is considered that,

the change of use of the former bank premises at lower ground & ground floor levels (No's 11-13 Bridge Street) & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels (No's 11-12 Bridge Street) & ancillary Offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor Levels of existing commercial building (12-15 Bridge Street) for use as temporary accommodation for displaced persons or persons seeking international protection.

Please note that this opinion is caveated upon the use ceasing in accordance with the limitations and conditions set out under Class 20F.

**Is Development and Is Exempted Development** at Property Address.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued.



**We are Cork.**

Is mise le meas,

David O'Regan

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**Assistant Staff Officer,  
Community, Culture &  
Placemaking Directorate**

<b>PLANNER'S REPORT</b> <b>Ref. R 830/24</b>		Cork City Council Culture, Community and Placemaking
<b>Application type</b>	Section 5 Declaration	
<b>Description</b>	<i>Is the use of the former bank premises at lower ground floor and ground floor levels &amp; ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> &amp; 3<sup>rd</sup> floor levels for use as emergency accommodation exempted development</i>	
<b>Location</b>	11-15 Bridge Street, Cork	
<b>Applicant</b>	Donal O'Brien	
<b>Date</b>	16/04/2024	
<b>Recommendation</b>	Is development and is exempted development	

This report should be read in conjunction with the previous Planner's Reports on file dated 11/03/2024 and 27/03/2024. The most recent report recommended that the following clarification of further information be sought:

*It is not possible to proceed with the assessment of this Section 5 application based on the further information provided on 14/03/2024. If the proposed change of use is for displaced persons from Ukraine then it is exempt from all provisions of the Planning and Development Act 2000 (as amended), including section 5, under which this application has been lodged.*

*Accordingly, please confirm whether this application is for displaced persons from the Ukraine or exclusively for the use of persons seeking international protection.*

The response confirmed that the premises will not be used for displaced persons from the Ukraine, therefore the Planning and Development Act 2000 (as amended), does apply. I conclude that there is now adequate information to fully assess this Section 5 application.

#### **Assessment**

The **first matter** for consideration is whether or not the matter at hand is 'development'. As the Act does apply I am satisfied that I can now, in accordance with the Planner's Report dated 11/03/2024 state that the proposal constitutes a material change of use and is development.

In addition the Further Information, received on 14/03/2024, states that the:

*Proposed works include the demolition of existing first floor toilet extension to rear elevation (5.8 sq.m) & proposed internal alterations to floor layouts.*

*Works include new openings between buildings at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> Floor levels, demolition of various stud work partitions & construction of new partitions to create bedrooms with ancillary mechanical and electrical work included.*

These works also constitute development.

The **second matter** arising is whether the development proposed is exempted development. Now that more details have been provided, regarding the extent of the works proposed, I consider that the following legislative provision, in addition to those set out in the Planner's Report dated 11/03/2024, is of relevance to this assessment:

*Planning and Development Regulations 2001 (as amended)*

**Article 6 (1)**

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

**Schedule 2 – Part 1 – Exempted Development – General**

<b>Column 1 Description of Development</b>	<b>Column 2 Conditions and Limitations</b>
<p><b>CLASS 50</b></p> <p>(a) The demolition of a building, or buildings, within the curtilage of –</p> <p>(i) a house,</p> <p>(ii) an industrial building,</p> <p>(iii) a business premises, or</p> <p>(iv) a farmyard</p> <p>(b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this schedule or in accordance with a permission for an extension or porch under the Act.</p>	<p>1. No such building or buildings shall abut on another building in separate ownership.</p> <p>2. The cumulative floor area of any such building, or buildings, shall not exceed:</p> <p>(a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and</p> <p>(b) in all other cases, 100 square meters.</p> <p>3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the act.</p>

Following receipt of further information I consider that there are 3 elements to the proposal, the change of use, internal changes to the building and the demolition of a rear extension.

I note that two of the three elements are potentially exempted through provisions that specifically apply only to a structure (article 4(1)(h) of the Act, and Class 20F as set out in the Regs), or in the case of Class 20F, they also apply to part of a structure. The applicant has stated that the proposed works to support the change of use include *new openings between buildings at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> Floor levels*. A review of the plans provided however shows that the buildings (or part thereof), identified on the plans submitted as being subject to the proposed change of use, are amalgamated on at least one floor. I am satisfied that, although not construction as one structure, the areas identified as being subject to the proposed change of use, can be considered as a single structure due to the existing internal configuration.

This first element of the proposal is an review of the proposed change of use against description and the conditions & limitations set out for the Class 20F exemption. The proposed change of use is from an office use to accommodate or support displaced persons or persons seeking international protection. An email on file, dated 12/03/2024, from the International Protection Procurement Services, in the Department of Children, Equality, Disability, Integration and Youth, confirms that the proposed property is currently of interest for use for international protection accommodation. I consider that this accords with the description of the change of use set out in Class 20F.

I note that most of the measures set out, in the associated the conditions & limitations relate largely to the timeframe for the cessation of the temporary use. These are generally noted but this report cannot state that they have been complied with in advance of the dates set out. It has to be considered that in identifying the type of use proposed as being in accordance with Class 20F the applicant must be aware of these limitations.

To conclude I consider that the proposed change of use is exempted development in accordance with Class 20F.

The second element of the proposed development relates to internal changes proposed to facilitate the temporary use. Following a review of the plans submitted, and considering that the area in which internal changes are proposed is a single structure, I am satisfied that these works affect only the interior of the structure. Accordingly, I conclude that the internal works are exempted development in accordance with article 4(1)(h) of the Act.

The third element for assessment is the demolition of a rear extension, stated to a first floor toilet extension of 5.8 sq.m. I note that the plans provided show this as being to the rear of the second floor, not the first. Nevertheless I am satisfied that I have enough information to proceed with the assessment. Class 50 only allows demolition to 'a building or buildings' within the curtilage of a business premises. This extension is not a building and the exemption does not apply.

Article 4(1)(h) however provides for external changes which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The small extension to be demolished is not part of the original building. I consider that its removal will not impact upon the character of the structure and accordingly is exempted development.

#### **Conclusion**

In view of the above and having regard to —

- Sections 2, 3 and 4 of the *Planning and Development Act 2000* (as amended), and
- Articles 6 and 9, and Class 20F as set out in Schedule 2, Part 1, of the *Planning and Development Regulations 2001* (as amended),

It is considered that

the change of use of the former bank premises at lower ground & ground floor levels (No's 11-13 Bridge Street) & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels (No's 11-12 Bridge Street) & ancillary Offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor Levels of existing commercial building (12-15 Bridge Street) for use as temporary accommodation for displaced persons or persons seeking international protection.

Please note that this opinion is caveated upon the use ceasing in accordance with the limitations and conditions set out under Class 20F.

#### **Is Development and Is Exempted Development.**



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Martina Foley  
A/Senior Executive Planner

**David O'Regan**

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**From:** Ciaran O'Sullivan <[REDACTED]>  
**Sent:** Thursday 4 April 2024 14:26  
**To:** Martina Foley; planning; David O'Regan  
**Subject:** RE: Section 5 Declaration R830/24 11-15 Bridge Street, Cork

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Some people who received this message don't often get email from [ciaran.osullivan@dosa.ie](mailto:ciaran.osullivan@dosa.ie). [Learn why this is important](#)

**[EXTERNAL EMAIL]** This email originated from outside Cork City Council. Do not follow guidance, click links or attachments unless you recognise the sender and know the content is safe.

David/Martina

We can confirm that the above premises is to be used exclusively for persons seeking international protection and not to be used for displaced persons from Ukraine.

Regards,

Ciaran O'Sullivan  
BE CEng MIEI Eurling



A: Joyce House, Barrack Square, Ballincollig, Cork. P31 KP84



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**From:** Ciaran O'Sullivan  
**Sent:** Thursday, April 4, 2024 1:08 PM  
**To:** 'martina\_foley@corkcity.ie'  
**Subject:** Section 5 Declaration R830/24 11-15 Bridge Street, Cork

Martina

Just wondering if we can have a call on this please?

14 March 2024  
Our Ref. 7061/CO'S

Cork City Council  
Planning Department  
City Hall  
Cork

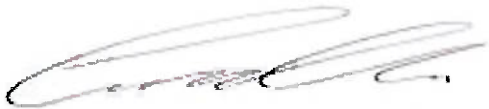
Re: Our client – Donal O'Brien, CRM Properties Limited  
Property at 11-15 Bridge Street, Cork City  
Section 5 Declaration R831/24 11-15 Bridge Street, Cork

Dear Sir / Madam

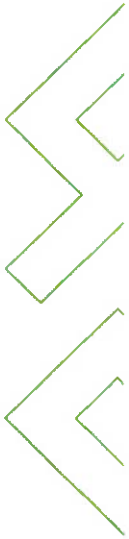
I am writing in response to your letter dated 11 March 2024 for further information.

We enclose herewith amended Section 5 Declaration Application Form. We also enclose an email from The Department of Children, Equality, Disability, Integration and Youth which states that the property named above is of interest for use by them.

Yours sincerely

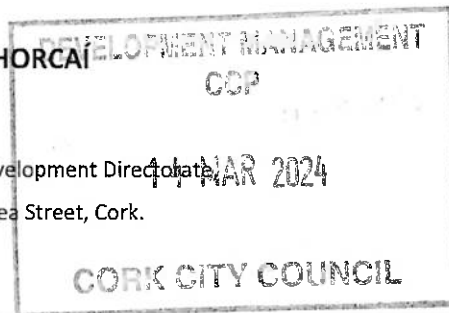


Ciarán O'Sullivan, BE. CEng. MIEI Eurlng.  
On behalf of Denis O'Sullivan & Associates





COMHAIRLE CATHRACH CHORCAI  
CORK CITY COUNCIL



Strategic Planning & Economic Development Directorate  
Cork City Council, City Hall, Anglesea Street, Cork.

E-Post/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)  
Fón/Tel: 021-4924564/4321  
Lionra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

11 -15 Bridge Street , Cork

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**  
Sample Question: *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

*Note: only works listed and described under this section will be assessed under the section 5 declaration.*

Is change use of the former bank premises at lower ground & ground floor levels ( No's 11 - 13 Bridge Street ) & ancillary offices at 1st, 2nd & 3rd floor levels ( No's 11 - 12 Bridge Street ) & ancillary offices at 1st, 2nd & 3rd floor levels of Existing Commercial Building ( 12 - 15 Bridge Street ) for use as Temporary accommodation for displaced persons or persons seeking international protection, as per class 20F as set out in schedule 2, Part1 of the planning and development regulations 2001 ( as amended ) Exempted Development.

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**  
*(Use additional sheets if required).*

Proposed works include demolition of existing first floor toilet extension to rear elevation ( 5.8 sq.m ) & proposed internal alterations to floor layouts .

Works include new openings between buildings at 1st, 2nd & 3rd floor levels, demolition of various studwork partitions & construction of new partitions to create bedrooms with ancillary mechanical & electrical work included.

The Buildings ( 11 - 15 Bridge Street Cork) are located within the Cork City Architectural Conservation Area.



### 3. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	Existing Area : 1414.4sq.m Proposed Area : 1408.7sq.m
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
Existing Bank & Ancillary Offices	Temporary accommodation for displaced persons or persons seeking international protection.

### APPLICANT/ CONTACT DETAILS

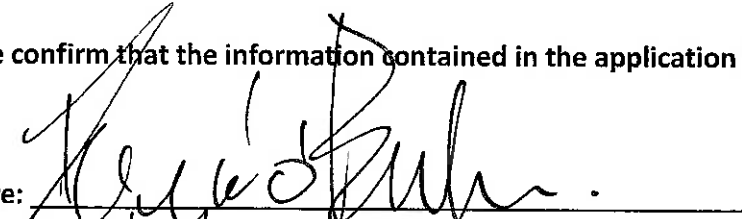

### 5. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner	B. Other
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

6. I / We confirm that the information contained in the application is true and accurate:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

  
14/03/24

**ADVISORY NOTES:**

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

The Development Management Section, Strategic Planning & Economic Development  
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION**

The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution

**Gavin Sheehan**

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**Subject:** FW: Bridge Street

**From: Damien Donohoe (DCEDIY)**

Date: Tue, Mar 12, 2024 at 12:06 PM

Subject: RE: Bridge Street

To: Aishling O Brien <

To whom this may concern,

On behalf of the Department of Children, Equality, Disability, Integration and Youth I can confirm that the proposed property in 11/15 Bridge Street, Cork is currently of interest to the Department for use as an International Protection Accommodation Centre subject to all necessary conditions being met, agreement reached and contract issued/denied.

Kind Regards

Damien Donohoe

*Seirbhísí an tSoláthair Cosaint Idirnáisiúnta*

*International Protection Procurement Services*

*An Roinn Leanaí, Comhionannais, Míchumais, Lánpháirtíochta agus Óige*

*The Department of Children, Equality, Disability, Integration and Youth*

2<sup>nd</sup> Floor Montague Court, 7-11 Montague Street, Dublin 2



**An Roinn Leanaí, Comhionannais,  
Míchumais, Lánpháirtíochta agus Óige**  
Department of Children, Equality,  
Disability, Integration and Youth



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Donal O'Brien,  
c/o Denis O'Sullivan & Associates Engineers,  
Joyce House,  
Barrack Square, Ballincollig,  
Cork,  
P31 KP84.

28/03/2024

**RE: Section 5 Declaration R830/24 11-15 Bridge Street, Cork.**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, I wish to advise under the provisions of section 5(2)(b) of the Planning and Development Act 2000, as amended, that the following further information is required in order to properly assess this application:

## **1. Confirmation of Proposed Use**

There are no specific exempted development provisions for 'emergency accommodation'. There are however exemptions that apply to accommodation for either:

- a. displaced persons from Ukraine, as per the *European Union (Planning and Development) (Displaced Persons from Ukraine Temporary Protection) Regulations 2022*,

Or

- b. displaced persons or persons seeking international protection, as per Class 20F as set out in Schedule 2, Part 1 of the *Planning and development Regulations 2001* (as amended).

Please confirm which type of emergency accommodation is proposed.



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# Comhairle Cathrach Chorcaí

## Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

### 2. Further Details Required

- a. If the answer to Question 1 above is a. please provide written confirmation, of approval, or approval in principle for the use of the property for displaced persons from Ukraine from either the relevant Government Department, or the relevant section of Cork City Council.
- b. If the answer to Question 1 above is b. please provide:
  - (i) Written confirmation, of approval, or approval in principle for the use of the property for the use of the property for accommodation for displaced persons or persons seeking international protection, from either the relevant Government Department, or the relevant section of Cork City Council.
  - (ii) The plans submitted appear to show external alterations to the rear (demolition of first floor extension). Additionally, the proposed floor plans show internal alterations. No works are mentioned in the question put to the Planning Authority in the Section 5 Application form submitted. Please submit an updated question / development description to include any works proposed as part of the change of use. Additionally please ensure that all external works are included in the description and identified on plans, whether or not they would be considered exempted development under another provision.

### Assessment

In response the applicant has provided a revised application form, and the question now reads:

*Is change use of the former bank premises at lower ground & ground floor levels (No's 11-13 Bridge Street) & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels (No's 11-13 Bridge Street) & ancillary offices at & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels of Existing commercial building (12-15 Bridge Street) for use as temporary accommodation for displaced persons or persons seeking international protection, as per class20F as set out in schedule 2, Part 1 of the planning and development regulations 2001 (as amended) Exempted Development.*

Unfortunately, this has not clarified sufficiently what type of development is proposed. As stated in the previous Planner's Report if this is for the use of displaced persons from Ukraine then the Planning and Development Act, including Section 5 under which this application has been lodged, does not apply. It is not therefore possible to assess further without first clarifying this matter further. This report, therefore, recommends that a request for clarification of further information is issued as follows:

It is not possible to proceed with the assessment of this Section 5 application based on the further information provided on 14/03/2024. If the proposed change of use is for displaced persons from Ukraine, then it is exempt from all provisions of the Planning and



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# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Development Act 2000 (as amended), including section 5, under which this application has been lodged.

Accordingly, please confirm whether this application is for displaced persons from the Ukraine or exclusively for the use of persons seeking international protection.

Is mise le meas,

David O'Regan

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**Assistant Staff Officer,  
Community, Culture &  
Placemaking Directorate**



**We are Cork.**

<b>PLANNER'S REPORT</b>		Cork City Council Culture, Community and Placemaking
<b>Ref. R 830/24</b>		
<b>Application type</b>	Section 5 Declaration	
<b>Description</b>	<i>Is the use of the former bank premises at lower ground floor and ground floor levels &amp; ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> &amp; 3<sup>rd</sup> floor levels for use as emergency accommodation exempted development</i>	
<b>Location</b>	11-15 Bridge Street, Cork	
<b>Applicant</b>	Donal O'Brien	
<b>Date</b>	27/03/2024	
<b>Recommendation</b>	Clarification of Further information required	

This report should be read in conjunction with the previous Planner's Report on file dated 11/03/2024. That report recommended that the following further information be sought:

**1. Confirmation of Proposed Use**

*There are no specific exempted development provisions for 'emergency accommodation'. There are however exemptions that apply to accommodation for either:*

- a. *displaced persons from Ukraine, as per the European Union (Planning and Development) (Displaced Persons from Ukraine Temporary Protection) Regulations 2022,*

*Or*

- b. *displaced persons or persons seeking international protection, as per Class 20F as set out in Schedule 2, Part 1 of the Planning and development Regulations 2001 (as amended).*

*Please confirm which type of emergency accommodation is proposed.*

**2. Further Details Required**

- a. *If the answer to Question 1 above is a. please provide written confirmation, of approval, or approval in principle for the use of the property for displaced persons from Ukraine from either the relevant Government Department, or the relevant section of Cork City Council.*
- b. *If the answer to Question 1 above is b. please provide:*
  - (i) *Written confirmation, of approval, or approval in principle for the use of the property for the use of the property for accommodation for displaced persons or persons seeking international protection, from either the relevant Government Department, or the relevant section of Cork City Council.*
  - (ii) *The plans submitted appear to show external alterations to the rear (demolition of first floor extension). Additionally, the proposed floor plans show internal alterations. No works are mentioned in the question put to the Planning Authority in the Section 5 Application form submitted. Please submit an updated question / development description to include any works proposed as part of the change of use. Additionally please ensure that all external works are included in the description and identified on plans, whether or not they would be considered exempted development under another provision.*

**Assessment**

In response the applicant has provided a revised application form and the question now reads:

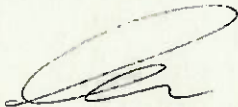


*Is change use of the former bank premises at lower ground & ground floor levels (No's 11-13 Bridge Street) & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels (No's 11-13 Bridge Street) & ancillary offices at & ancillary offices at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floor levels of Existing commercial building (12-15 Bridge Street) for use as temporary accommodation for displaced persons or persons seeking international protection, as per class20F as set out in schedule 2, Part 1 of the planning and development regulations 2001 (as amended) Exempted Development.*

Unfortunately this has not clarified sufficiently what type of development is proposed. As stated in the previous Planner's Report if this is for the use of displaced persons from Ukraine then the Planning and Development Act, including Section 5 under which this application has been lodged, does not apply. It is not therefore possible to assess further without first clarifying this matter further. This report, therefore, recommends that a request for clarification of further information is issued as follows:

It is not possible to proceed with the assessment of this Section 5 application based on the further information provided on 14/03/2024. If the proposed change of use is for displaced persons from Ukraine then it is exempt from all provisions of the Planning and Development Act 2000 (as amended), including section 5, under which this application has been lodged.

Accordingly, please confirm whether this application is for displaced persons from the Ukraine or exclusively for the use of persons seeking international protection.



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Martina Foley  
Executive Planner

**COMHAIRLE CATHRACH CHORCAÍ  
CORK CITY COUNCIL**

Strategic Planning & Economic Development Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)  
Fón/Tel: 021-4924564/4321  
Líonra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

11 -15 Bridge Street , Cork

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**  
Sample Question:      *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

*Note: only works listed and described under this section will be assessed under the section 5 declaration.*

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Is the use of the former bank premises at lower ground & ground floor levels  
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& ancillary offices at 1st, 2nd & 3rd floor levels for use as emergency accommodation  
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exempted development  
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**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**  
*(Use additional sheets if required).*

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The Buildings ( 11 - 15 Bridge Street Cork) are located within the  
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Cork City Architectural Conservation Area.  
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**DEVELOPMENT MANAGEMENT**  
**CCP**  
**01 MAR 2024**  
**CORK CITY COUNCIL**

**3. APPLICATION DETAILS**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	Existing Area : 1338/33sq.m Proposed Area : 1338.33sq.m
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
Existing Bank & Ancillary Offices	Emergency Accommodation
_____	_____
_____	_____



**5. LEGAL INTEREST**

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

6. I / We confirm that the information contained in the application is true and accurate:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

28/02/21

**ADVISORY NOTES:**

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

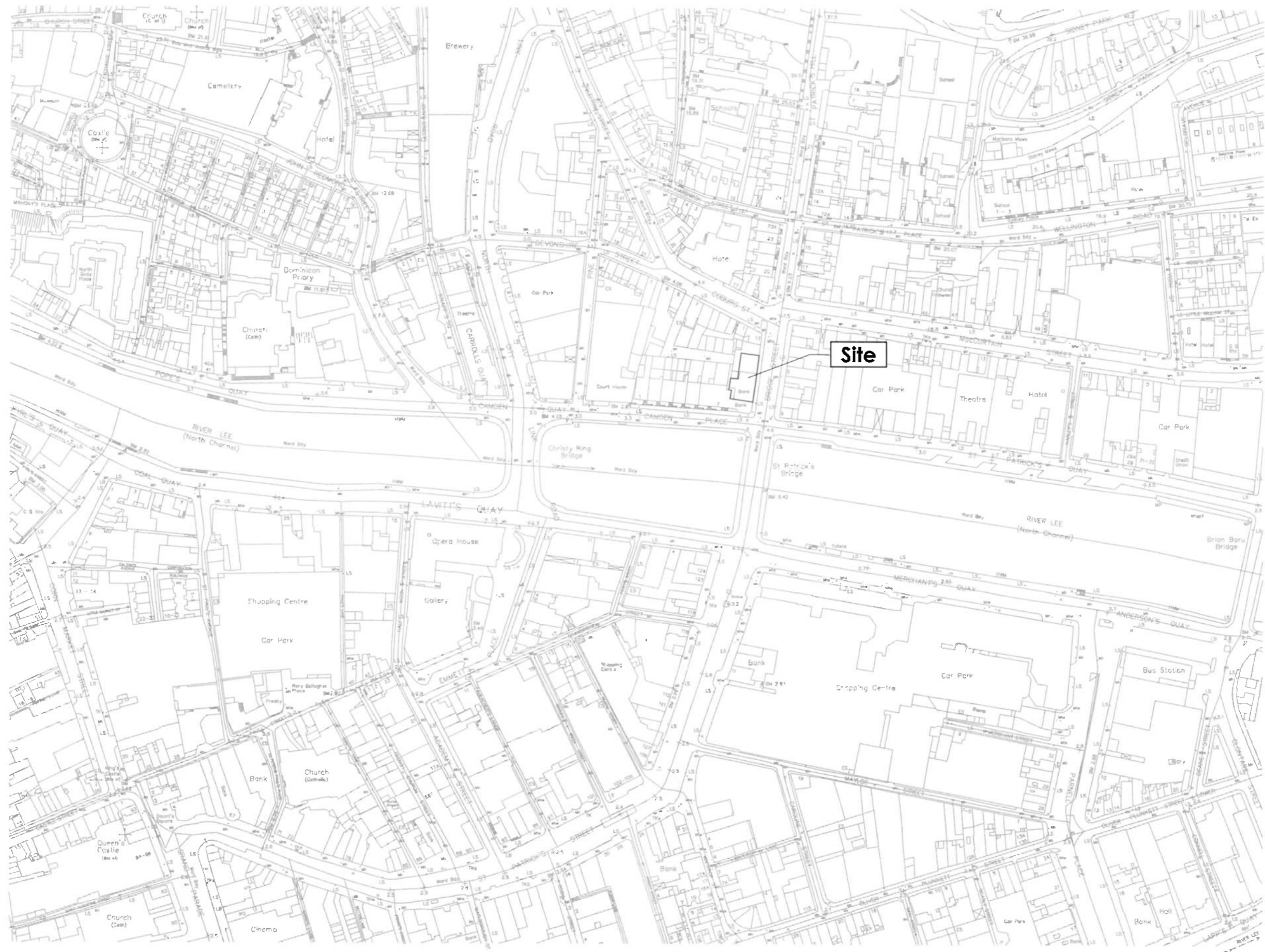
The Development Management Section, Strategic Planning & Economic Development  
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION**

The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution



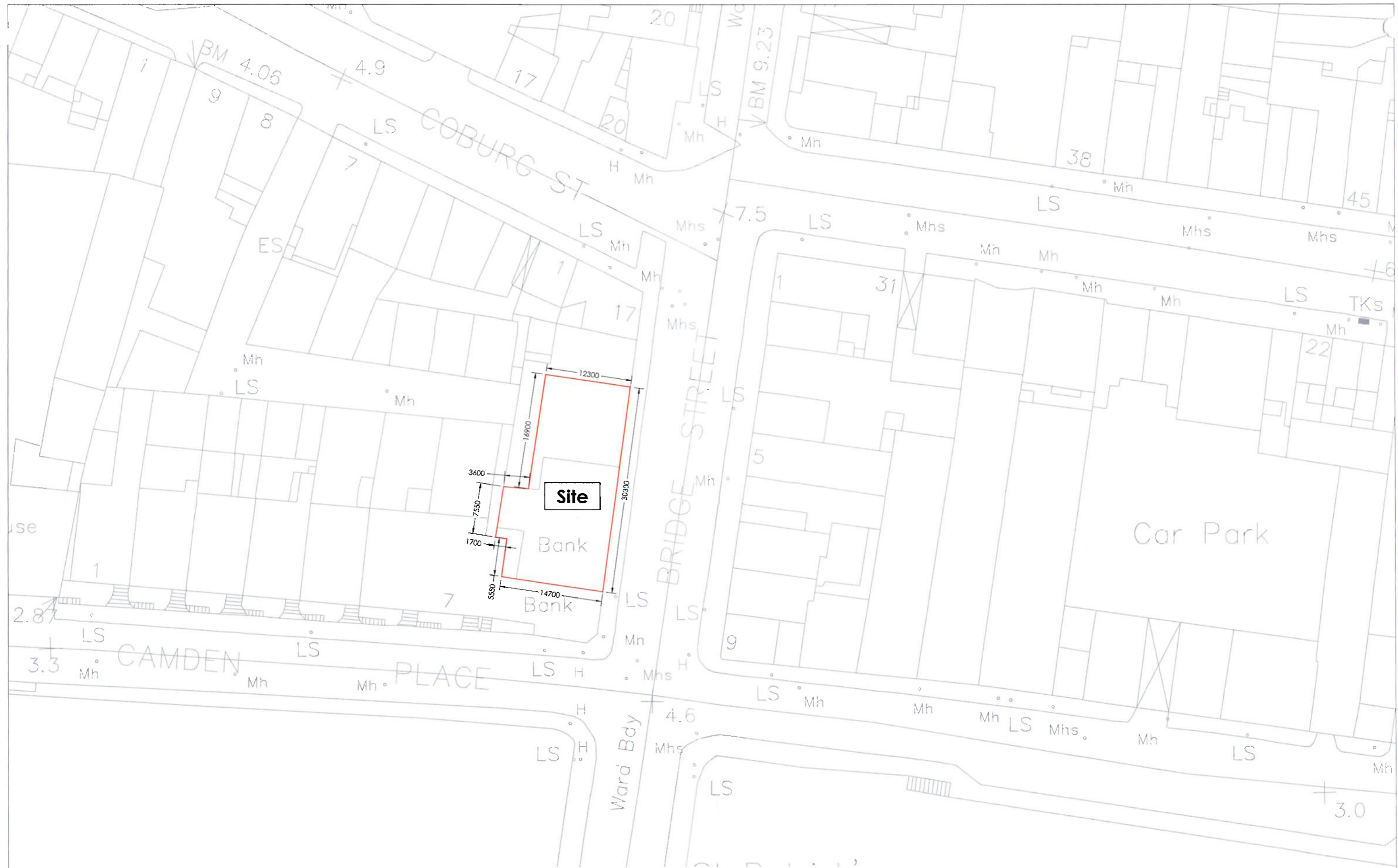
**Site Location Map**  
Scale : 1:2500

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	28.02.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJ. NO.	Bridge Street, Cork

DRAWING TITLE	Site Location Map
SHEET	A3
SCALE	1:2500
PROJ. NO.	7061
DRAWING NO.	0002
STATUS	A



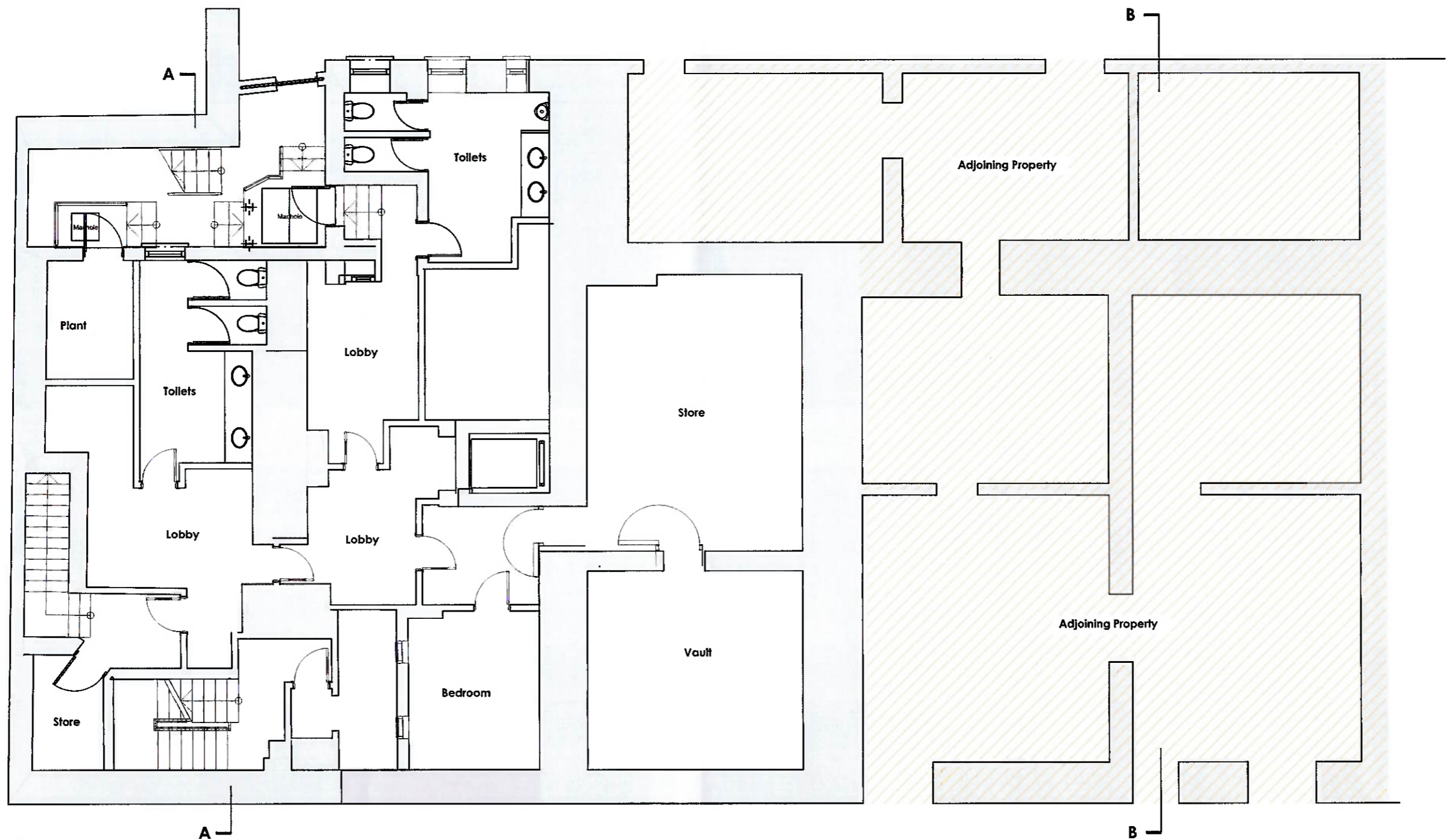


**Site Layout Map**  
Scale : 1:500

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	28.02.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

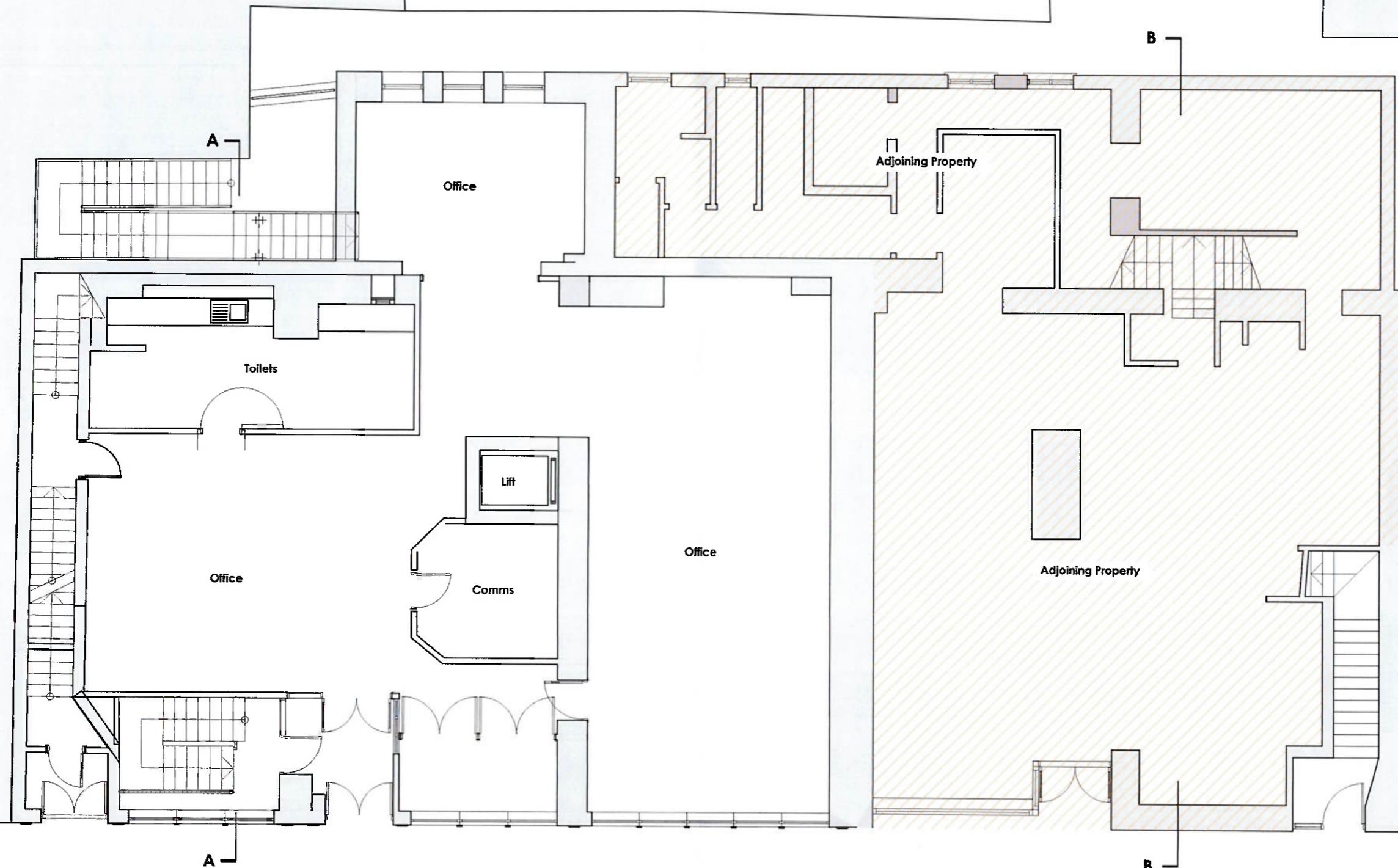
DRAWING TITLE		Site Layout Map	
SHEET	SCALE	PROJECT NO.	DRAWING NO.
A3	1:500	7061	0003
STATUS/ISSUE		A	



**Existing Lower Ground Floor**  
Scale : 1:100

REV.	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	28.12.23	Issued for Section 5 Declaration





**Existing Ground Floor Layout**

Scale : 1:100

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	28.12.23	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE		Existing Ground Floor Layout	
SHEET	SCALE	PROJECT NO.	DRAWING NO.
A3	1:100	7061	0051
STATUS/SUB		A	



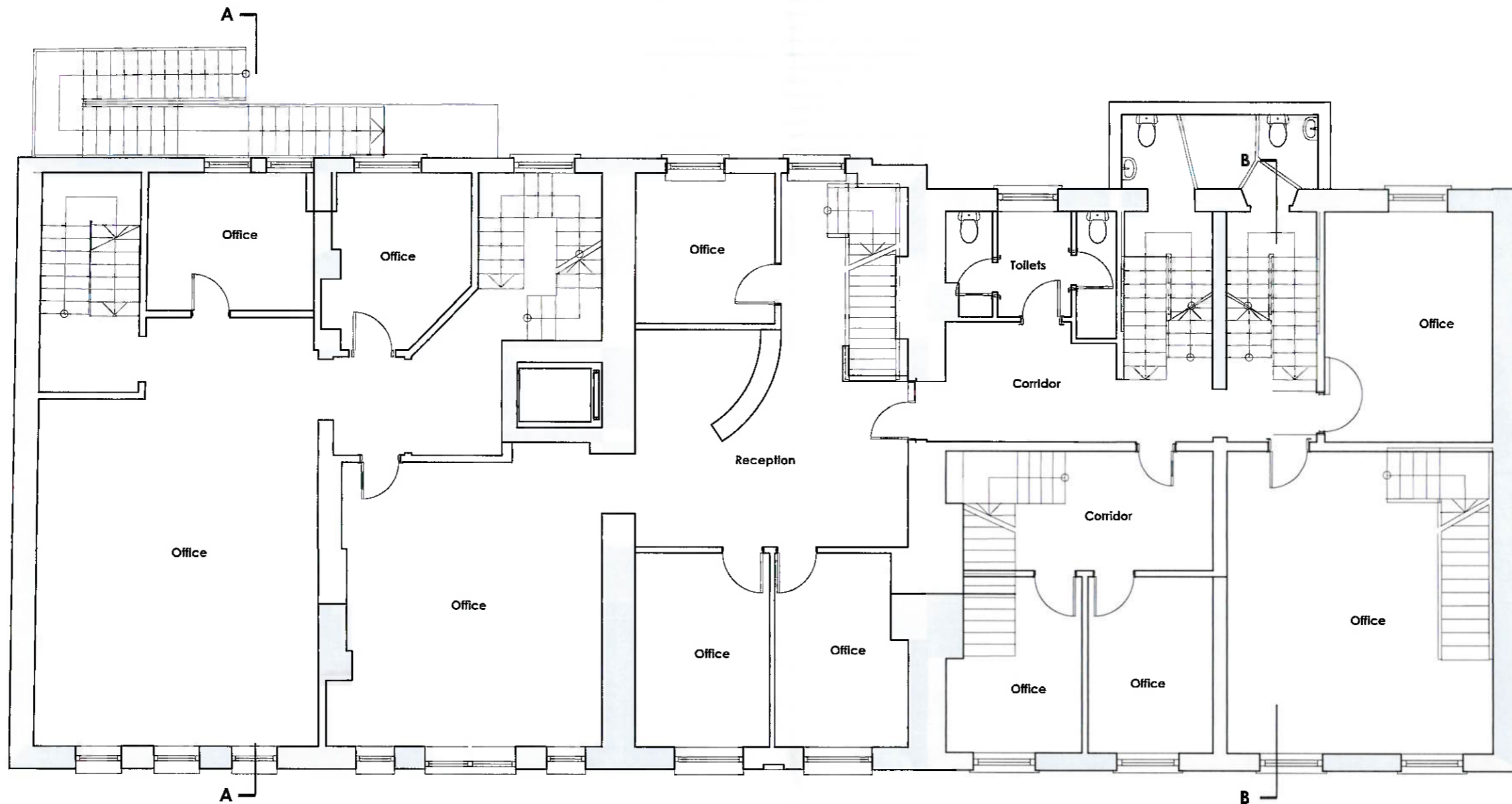
**Existing First Floor Layout**

Scale : 1:100

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	28.12.23	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Existing First Floor Layout		
SHEET	A3	SCALE	1:100
PROJECT NO	7061	DRAWING NO	0052
STATUS/ISSUE	A		



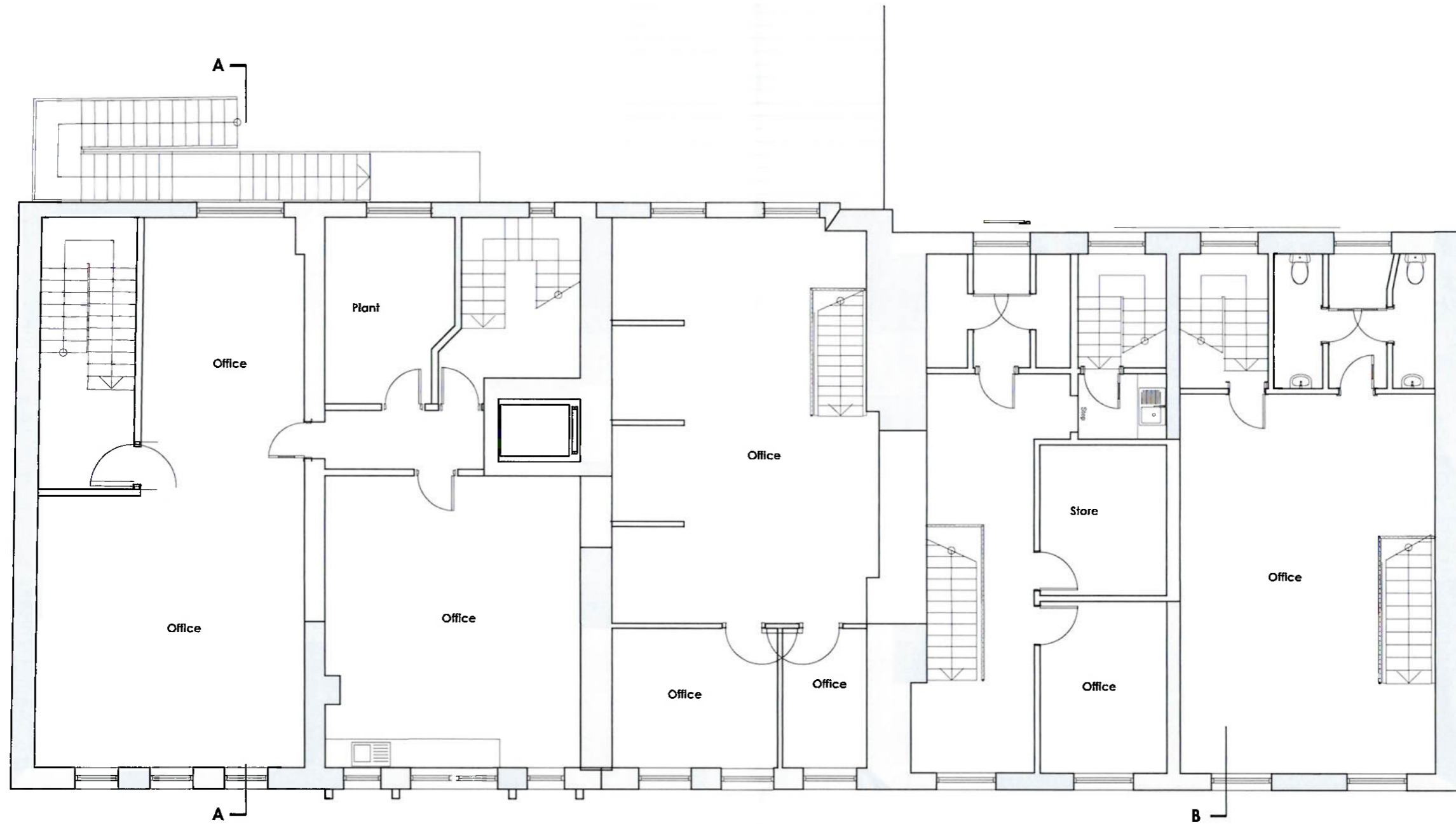
**Existing Second Floor Layout**  
Scale : 1:100

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	28.12.23	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Existing Second Floor Layout		
SHEET	A3	SCALE	1:100
PROJ. NO.	7061	DRAWING NO.	0053
STA. ISSUE	A		





**Existing Third Floor Layout**

Scale : 1:100

REV	DRAWN	CHEK	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	28.12.23	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Existing Third Floor Layout		
SHEET	A3	SCALE	1:100
PROJECT NO	7061	DRAWING NO	0054
STATUS/REV	A		



**Existing Front Elevation**

Scale : 1:100

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	28.12.23	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Existing Front Elevation		
SHEET	A3	SCALE	1:100
FIGURE NO	7061	DRAWING NO	0055
STATUS/ISSUE	A		

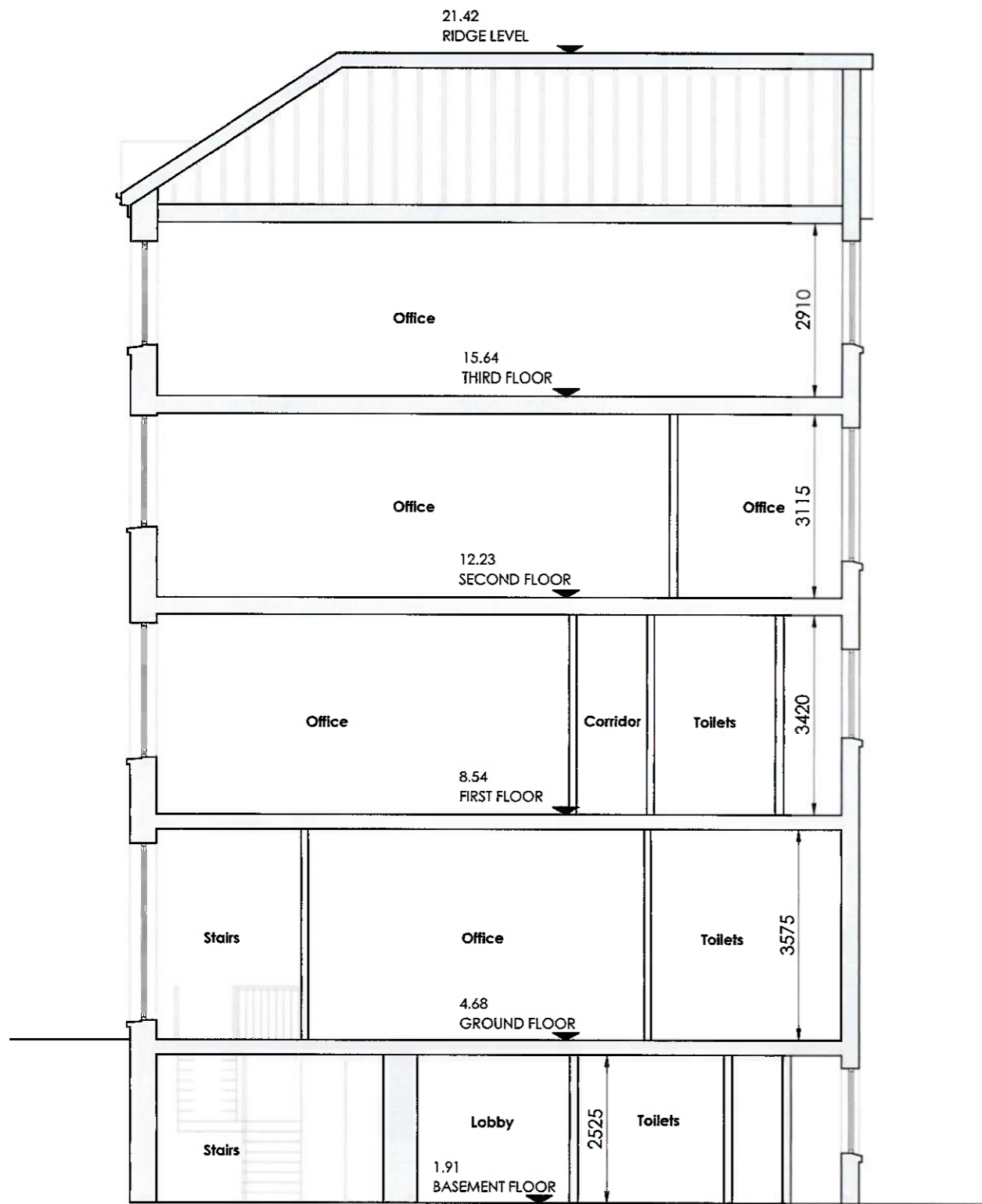


**Existing Rear Elevation**  
Scale : 1:100

REV	DRAWN	CHEK	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	28.12.23	Issued for Section 5 Declaration

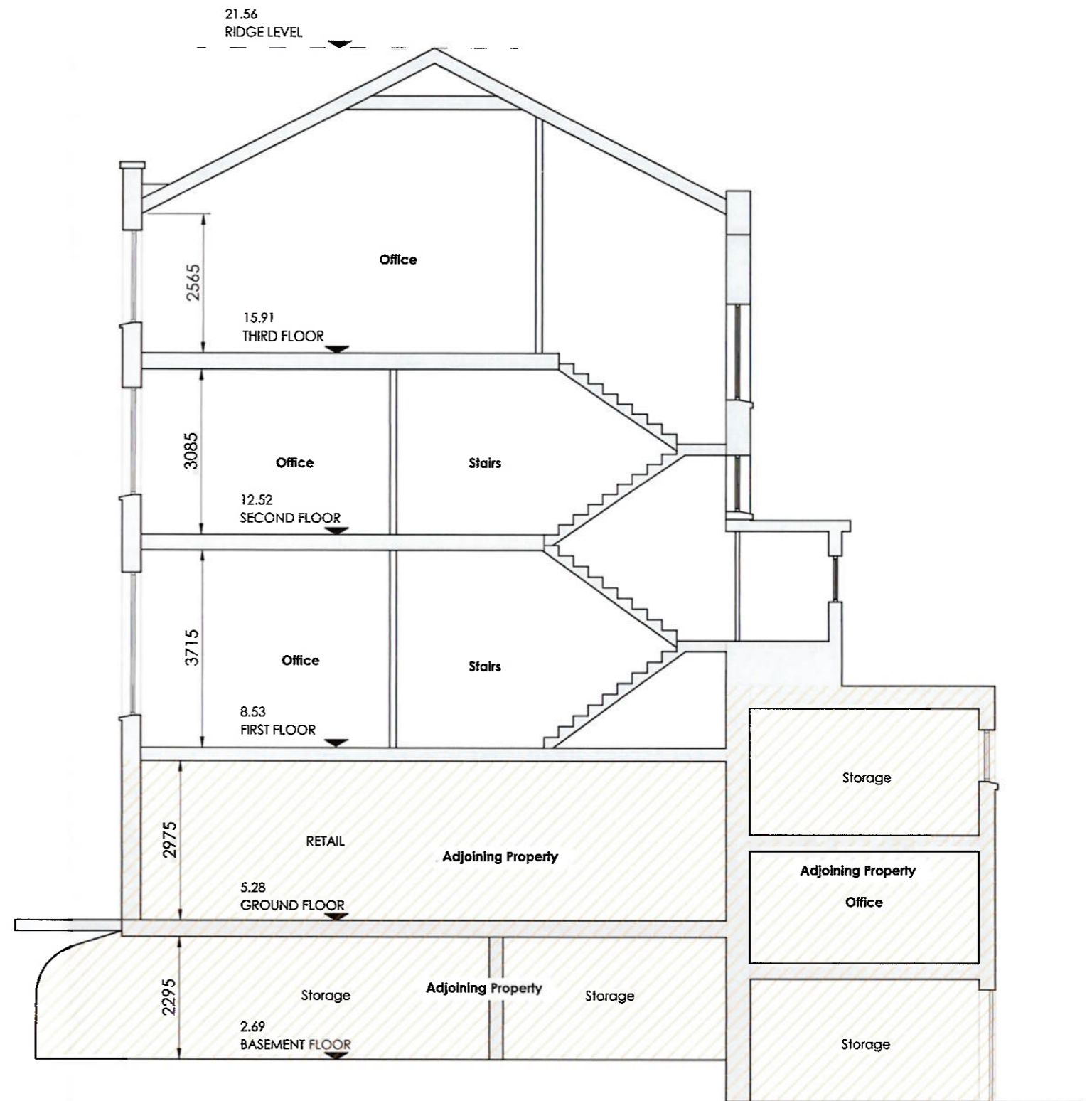
CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Existing Front Elevation		
SHEET	A3	SCALE	1:100
PROJECT NO	7061	DRAWING NO	0056
STATUS/REV	A		



**Existing Section A-A**

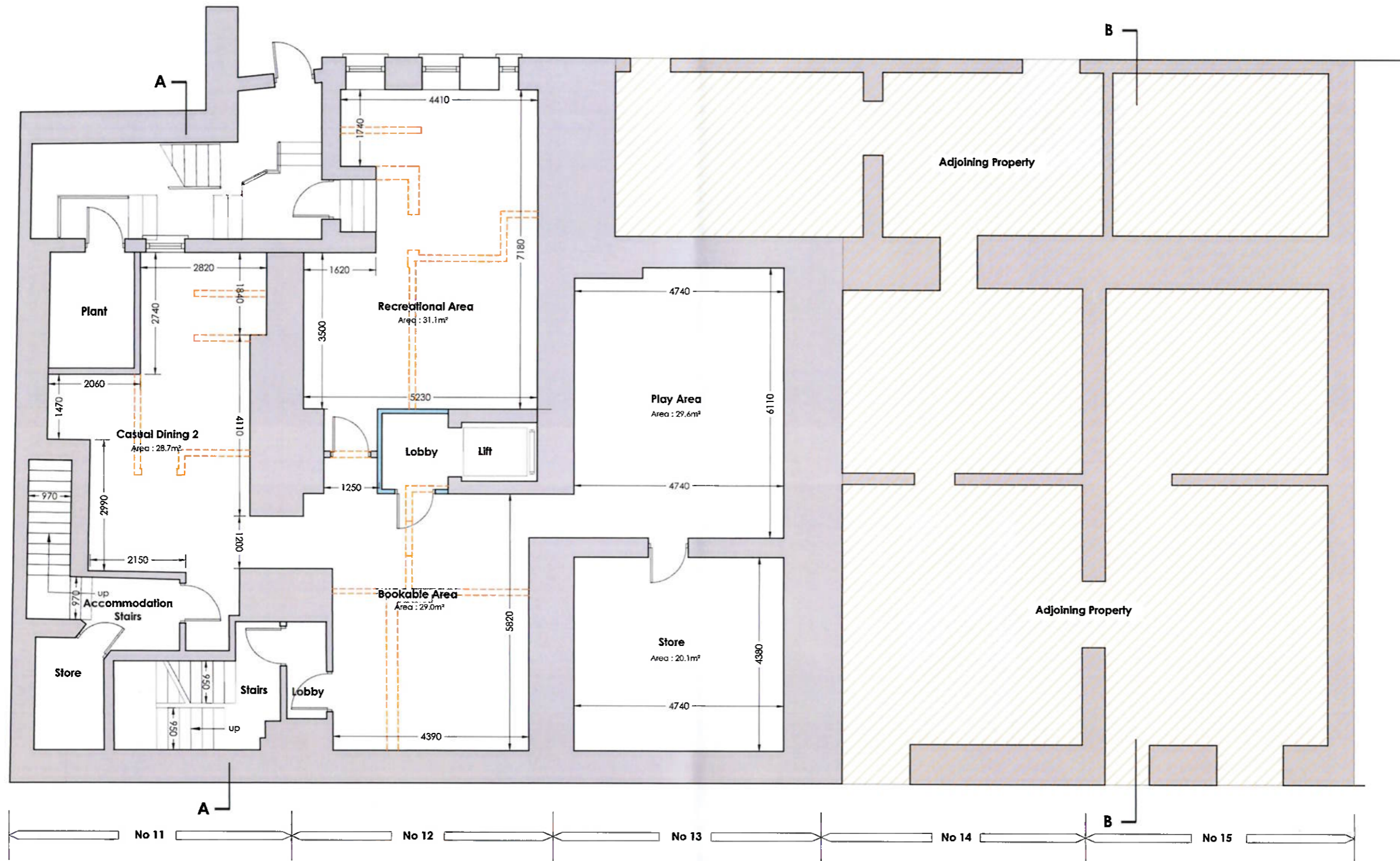
Scale : 1:100



**Existing Section B-B**

Scale : 1:100





**Proposed Lower Ground Floor**

Scale : 1:100

Legend	
	Existing Wall to be Removed
	Proposed Walls
	Existing Walls to be Retained

Joyce House  
Barack Square  
Ballincollig  
Cork  
P31 KP84

021 4871781  
info@dosa.ie  
www.dosa.ie

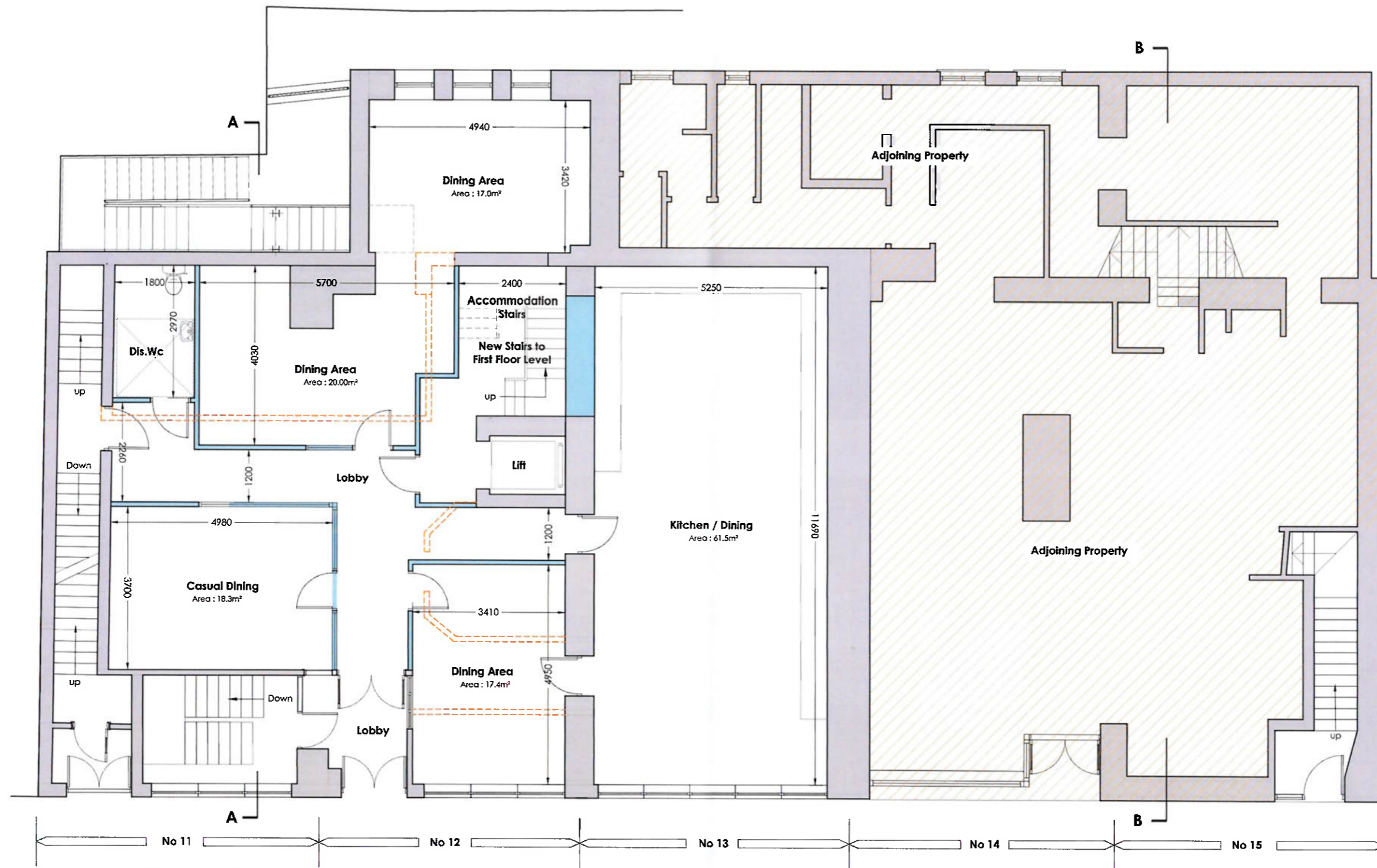
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REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE			Proposed Lower Ground Floor Layout		
SHEET	A3	SCALE	1:100	PROJECT NO	7061
				DRAWING NO	0100
				STATUS	A





**Proposed Ground Floor Layout**  
Scale : 1:100

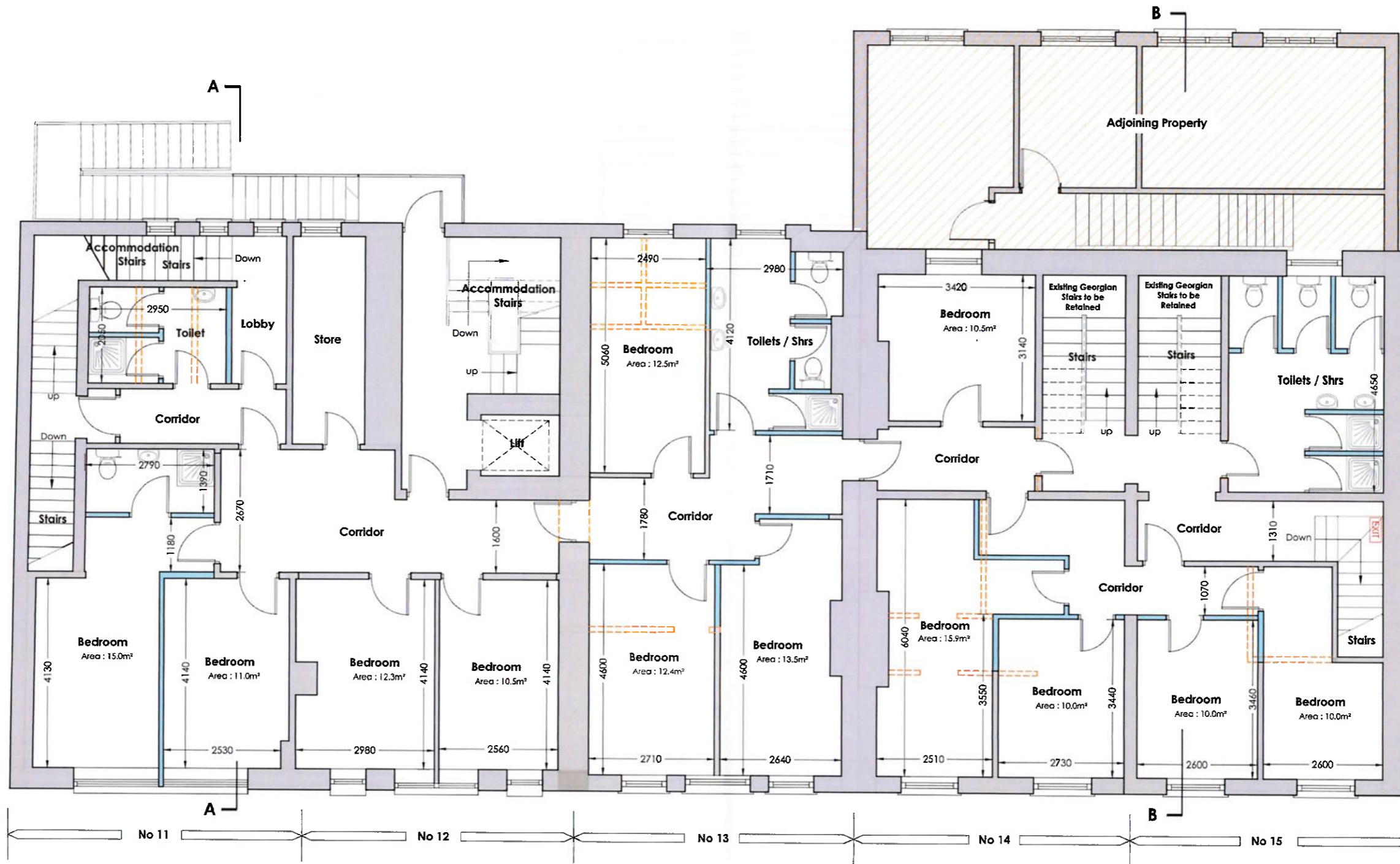
**Legend**

- Existing Wall to be Removed
- Proposed Walls
- Existing Walls to be Retained

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CURR:	Donal O'Brien
PROJECT:	Bridge Street, Cork

DRAWING TITLE			Proposed Ground Floor Layout		
SHEET	SCALE	PROJECT NO	DRAWING NO	STATUS/REV	
A3	1:100	7061	0101	A	



**Proposed First Floor Layout**

Scale : 1:100

Legend	
	Existing Wall to be Removed
	Proposed Walls
	Existing Walls to be Retained

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE		Proposed First Floor Layout		
SHEET	SCALE	PROJECT NO	DRAWING NO	STATUS/REV
A3	1:100	7061	0102	A





### Proposed Second Floor Layout

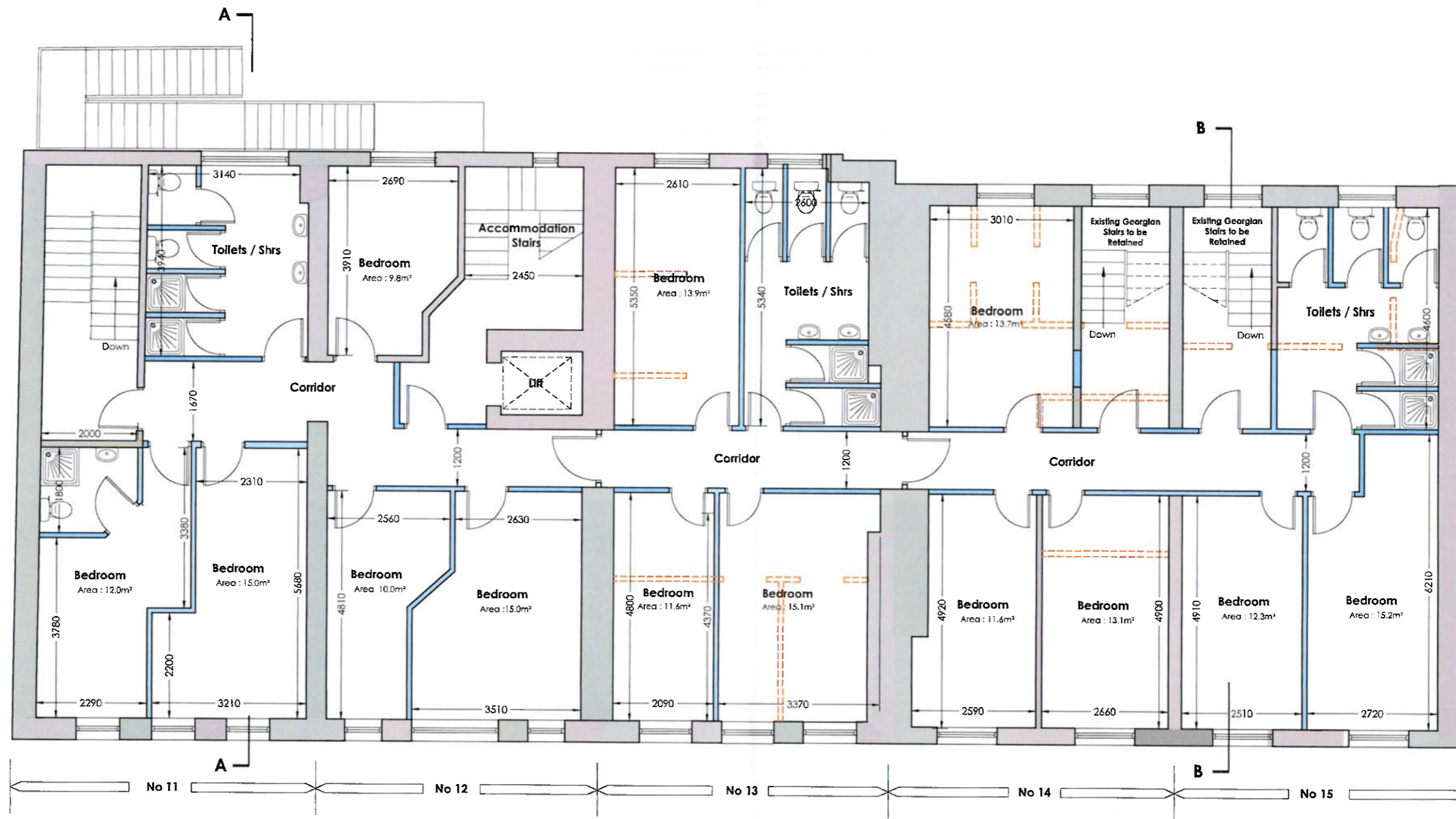
Scale : 1:100

Legend	
	Existing Wall to be Removed
	Proposed Walls
	Existing Walls to be Retained

REV.	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O.S	C.O.S	14.03.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE		Proposed Second Floor Layout			
SHEET	A3	SCALE	1:100	PROJECT NO	7061
				DRAWING NO	0103
				STATUS/REV	A



**Proposed Third Floor Layout**

Scale : 1:100

Legend	
	Existing Wall to be Removed
	Proposed Walls
	Existing Walls to be Retained

REV	DRANN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE		Proposed Third Floor Layout		
DRAWN	A3	SCALE	1:100	
PROJECT NO.	7061	DRAWING NO.	0104	STATUS/REV
				A



**Proposed Front Elevation**  
Scale : 1:100

REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE	Proposed Front Elevation		
SHEET	A3	SCALE	1:100
PROJECT NO.	7061	DRAWING NO.	0105
STATUS/ISSUE	A		





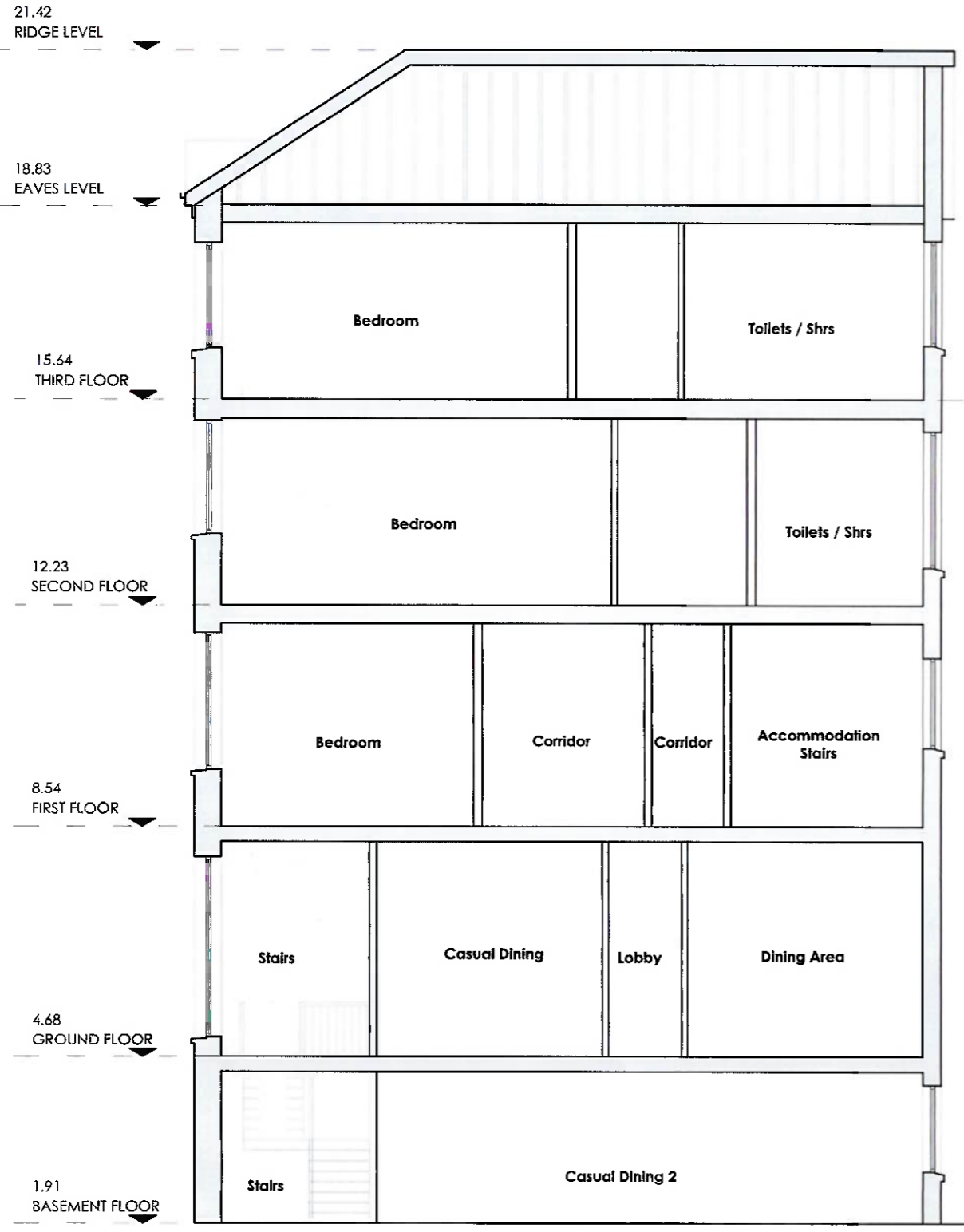
**Proposed Rear Elevation**  
Scale : 1:100

REV	DRAWN	CHEK	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

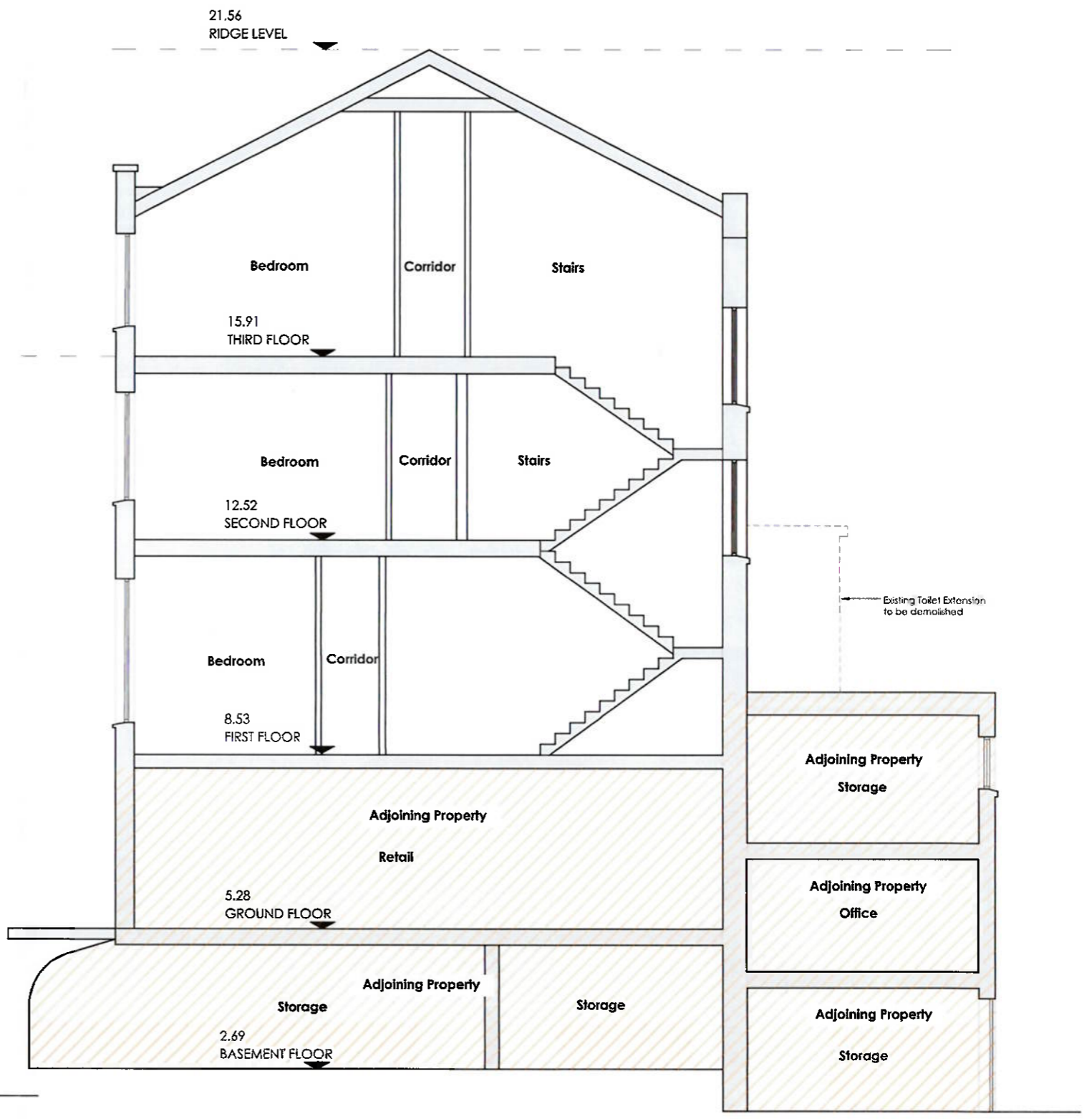
CLIENT	Donal O'Brien
PROJECT	Bridge Street, Cork

DRAWING TITLE		Proposed Rear Elevation		
SHEET	SCALE	PRELIMINARY	DRAWING NO.	STATUS/REUSE
A3	1:100		7061_0106	A





**Proposed Section A-A**  
Scale : 1:100



**Proposed Section B-B**  
Scale : 1:100

Joyce House  
Barrack Square  
Baltimore  
Cork  
P31 KP64

021 4871781  
info@dosa.ie  
www.dosa.ie

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REV	DRAWN	CHKD	APPRVD	DATE	DETAILS
A	G.S.	C.O'S	C.O'S	14.03.24	Issued for Section 5 Declaration

CLIENT  
Donal O'Brien

PROJECT  
Bridge Street, Cork

DRAWING TITLE  
Proposed Sections

SHEET  
A3

SCALE  
1:100

PROJECT NO  
7061

DRAWING NO  
0107

STATUS/ISSUE  
A