



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Michael Boyle  
Unit P5 Marina Commercial Park  
Centre Park Road  
Cork

16/12/2021

**RE: Section 5 Declaration R695/21 Autumn Leaves, 2 Connolly Road, Ballyphehane, Cork**

A Chara,

With reference to your request for a Section 5 Declaration at the above named property, I wish to advise as follows having regard to:

- Sections 2, and 3 of the Planning and Development Act 2000 (as amended), and
- Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended),

It is considered that (i) the building of a single storey extension to the rear as per plans and particulars submitted under this Section 5, **is development and IS exempted development**; while the new driveway **is development and is NOT exempted development**

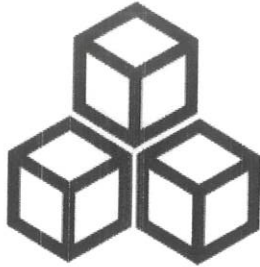
Is misa le meas,

---

**Kerry Bergin**  
Community, Culture and Placemaking Directorate  
Cork City Council



**We are Cork.**



# BCE CONSULTANT ENGINEERS CORK

**Unit P5, Marina Commercial Park, Centre Park Road. Cork T12**  
**PN7F**

Tel: 021/234-85-24 Email: [REDACTED]@gmail.com

Planning department

Cork City Council

City Hall

Cork

03/11/2021

RF: Exemption of a building in the rear of an existing dwelling that has 22.95 sqm and driveway on the front side.

Schedule of Documents

Dear Sir/Madam

In relation to the above planning please find attached:

- 2 copies of Section 5 Declaration Application Form
- 2 copies of Existing Site Layout, Existing Plan, Existing Elevations,



2 Connolly road,  
Ballyphehane,  
Cork.


3<sup>rd</sup> August 2021.

For attention of Mr Paul Hartnett,  
Executive officer,  
Cork City Council,  
City Hall,  
Cork.

Dear Sir

I wish to apply for exemption from Cork City Planning Department for development of Driveway and proposed extension at about address on behalf of myself, Son Jonathan and Daughter Nicole.  
Enclosed is drawings for both new driveway and extension.

Yours Sincerely,



Patricia Casey.

**COMHAIRLE CATHRACH CHORCAÍ  
CORK CITY COUNCIL**

Strategic Planning & Economic Development Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)  
Fón/Tel: 021-4924564/4321  
Lionra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

Autumn Leaves, 2 Connolly Road, Ballyphehane, Cork, T12 X6D9

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**

*Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

*Note: only works listed and described under this section will be assessed under the section 5 declaration.*

Exemption of a building in the rear of an existing dwelling that has 22.95 sqm and driveway on the front side.

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**

*(Use additional sheets if required).*



### 3. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s		Existing – 64.7 sqm Proposed – 22.95 sqm
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:		
Existing/ previous use (please circle)	Proposed/existing use (please circle)	
During the construction, only the house was built without any extensions. The construction was completed circa 1990	The extension that is part of this item will be on the back of the property.	

### 4. APPLICANT/ CONTACT DETAILS

Name of applicant (principal, not agent):		Patrica, Nicole and Jonathan Casy	
Applicants Address	Autumn Leaves, 2 Connolly Road, Ballyphehane, Cork, T12 X6D9		
Person/Agent acting on behalf of the Applicant (if any):	Name:	Boyle Michael	
	Address:	Unit P5 Marina Commercial Park Centre Park Road Cork	
	Telephone:	[REDACTED]	
	Fax:		
	E-mail address:	[REDACTED]@gmail.com	
Should all correspondence be sent to the above address? <small>(Please note that if the answer is 'No' all correspondence will be sent to the Applicant's address)</small>		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

### 5. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		



6. I/We confirm that the information contained in the application is true and accurate:

Signature: \_\_\_\_\_

Date: 03/11/2021

.....

**ADVISORY NOTES:**

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

The Development Management Section, Strategic Planning & Economic Development  
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION**

The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution

# NATIONAL MAP SERVICES

Unit 7 South Ring Business Park, Kinsale Road, Cork

T: 021-4966888

F: 021-4966662

Email: [info@nationalmapservices.ie](mailto:info@nationalmapservices.ie)

WWW: [nationalmapservices.ie](http://nationalmapservices.ie)



INVOICE NO: 50229863

DATE: 29<sup>TH</sup> OCTOBER 2021

BILL TO

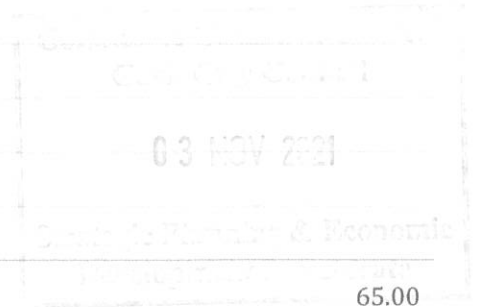
ORDER REF

VAT NO: IE 4656770V

**BCE CONSULTANT ENGINEERS**  
**UNIT P5**  
**MARINA COMMERCIAL PARK**  
**CENTRE PARK ROAD**  
**CORK**

Autumn Leaves  
2 Connolly Road  
Ballyphehane  
Cork

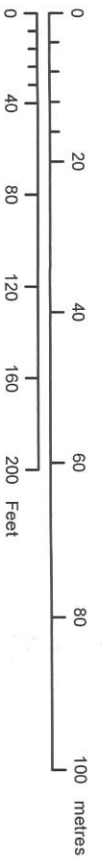
QUANTITY	DESCRIPTION	VAT RATE	UNIT PRICE	TOTAL
1	A3 PLACE MAP 1-1000 PDF	23%	60.00	60.00
	Service Charge	23%	5.00	5.00



SUBTOTAL	65.00
VAT @ 23%	14.95
VAT @ 13.5%	
<b>TOTAL</b>	<b>79.95</b>

Thank you for using National Map Services!





OUTPUT SCALE: 1:1,000

**CAPTURE RESOLUTION:**  
 The map objects are only accurate to the resolution at which they were captured. Output scale is not indicative of data capture scale. Further information is available at: <http://www.osi.ie/search/CaptureResolution>



**CENTRE COORDINATES:**  
 ITM 567412.570638

**PUBLISHED:** 29/10/2021  
**ORDER NO.:** 50229863\_1

**MAP SERIES:** 1:1,000  
 1:1,000  
**MAP SHEETS:** 6382-20  
 6382-25

**COMPILED AND PUBLISHED BY:**  
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 Phoenix Park,  
 Dublin 8,  
 Ireland.

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**LEGEND:**  
<http://www.osi.ie>  
 search 'Large Scale Legend'



**NOTE:**

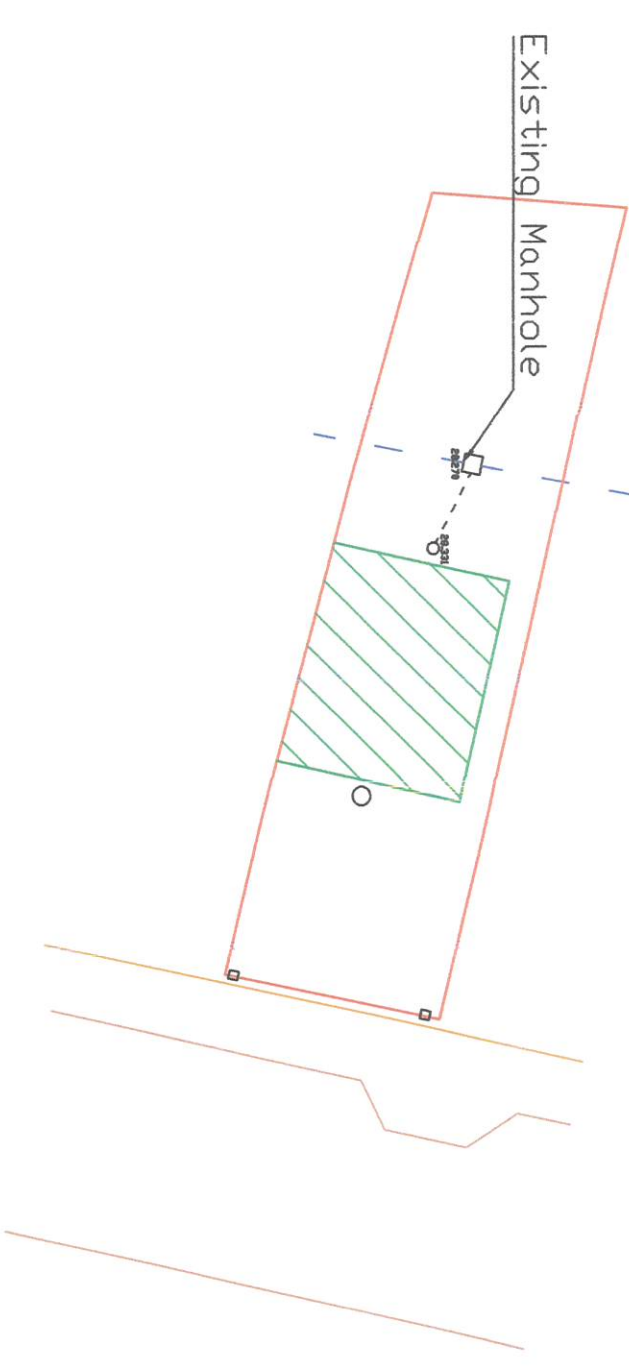
ALL MATERIALS TO BE USED SHOULD BE FIT FOR THE USE FOR WHICH THEY ARE INTENDED AND FOR THE CONDITIONS IN WHICH THEY ARE TO BE USED. WHERE POSSIBLE, THESE MATERIALS SHOULD CARRY THE RELEVANT I.S. OR B.S. STANDARDS. A PROPER STANDARD OF WORKMANSHIP IS ESSENTIAL TO COMPLY WITH BUILDING REGULATIONS AND ALL WORK ON SITE SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS.

All details and specifications can be found in the attached doc's  
 - ALL LEVELS RELATE TO ORDNANCE SURVEY DATA UNLESS STATED OTHERWISE  
 - COORDINATES RELATE TO IRISH NATIONAL GRID, NORTH REFERS TO GRID NORTH  
 - ALL DIMENSIONS ARE IN METERS

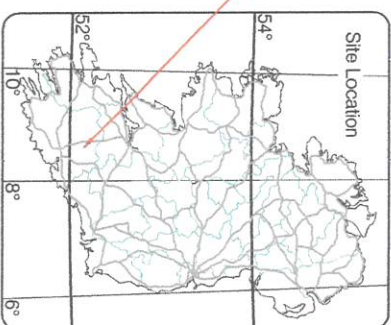
**LINE TYPE:**

- BOUNDARY
- BUILDING
- FOOTPATH
- KERB(ROAD)

*Contractor: Orlaithy & Co. Ltd  
 Civil City Council  
 03 NOV 2021  
 Date: 03/11/2021  
 Prepared by: [Signature]*



**SITE LOCATION**



**BCE CONSULTANT  
 ENGINEERS CORK**

Unit P5, Marina Commercial Park, Centre Park Road, Cork, T12 PN7F

**PROJECT:** Patricia, Nicole & Jonathan Casey

**LOCATION:** 2 Connolly Road, Cork City

**DRAWING:** Existing Site Layout

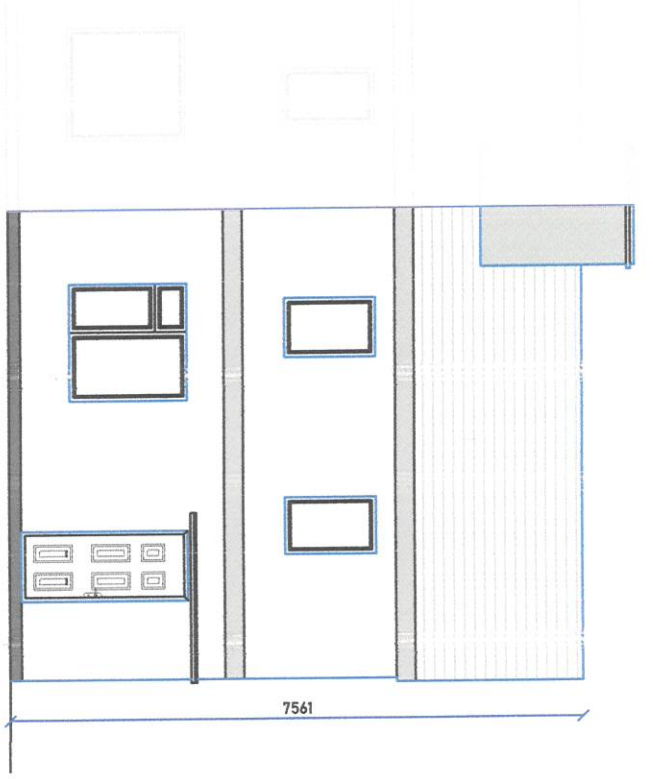
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**DRAWN BY:** Dalibor Lukic  
**DATE:** 24/08/2021

**PROJECT No.:** PV-DL-2021  
**DRAWING No.:** 001  
**SHEET:** 001

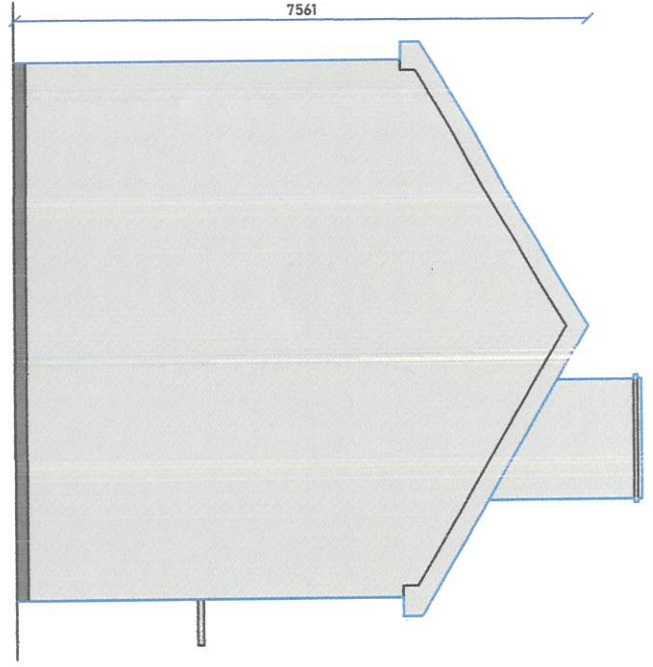
**NOTE:**

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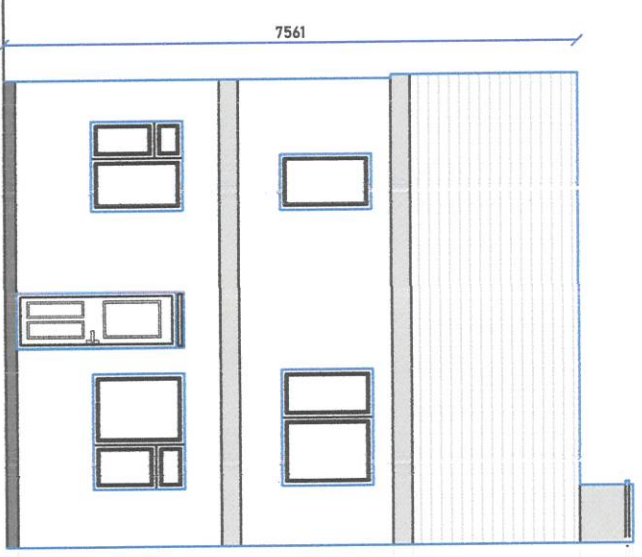
**THE WHOLE OF THE WORKS TO BE CARRIED OUT TO THE FULL INTENT AND MEANING OF CURRENT BUILDING REGULATIONS. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES. ENGINEER IS NOT BE INFORMED OF ANY DISCREPANCIES**



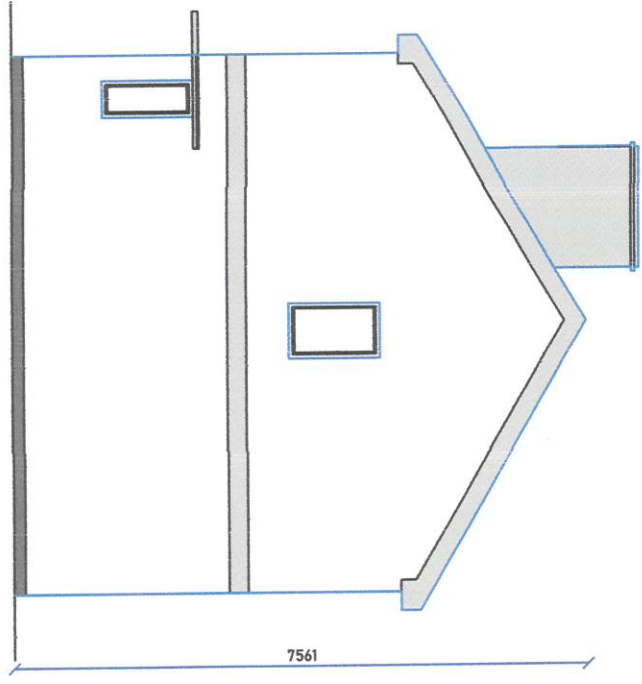
East Elevation



South Elevation



West Elevation



North Elevation

*Stamp: 03 NOV 2021, Dalibor Lukic, Director of Works & Inspection*



**BCE CONSULTANT ENGINEERS CORK**

Unit P5, Marina Commercial Park, Centre Park Road, Cork, T12 PN7F

**PROJECT:** Patricia, Nicole & Jonathan Casey

**LOCATION:** 2 Connolly Road, Cork City

**DRAWING:** Existing Drawings

**SCALES:** 1:100  
**DRAWNBY:** Dalibor Lukic  
**DATE:** 24/08/2021

**PROJECT No.:** PW-DL-2021  
**DRAWING No.:** 001  
**SHEET:** 001



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Unit P5, Marina Commercial Park, Centre Park Road, Cork, T12 PN7F

**PROJECT: Patrica, Nicole & Jonathan Casy**

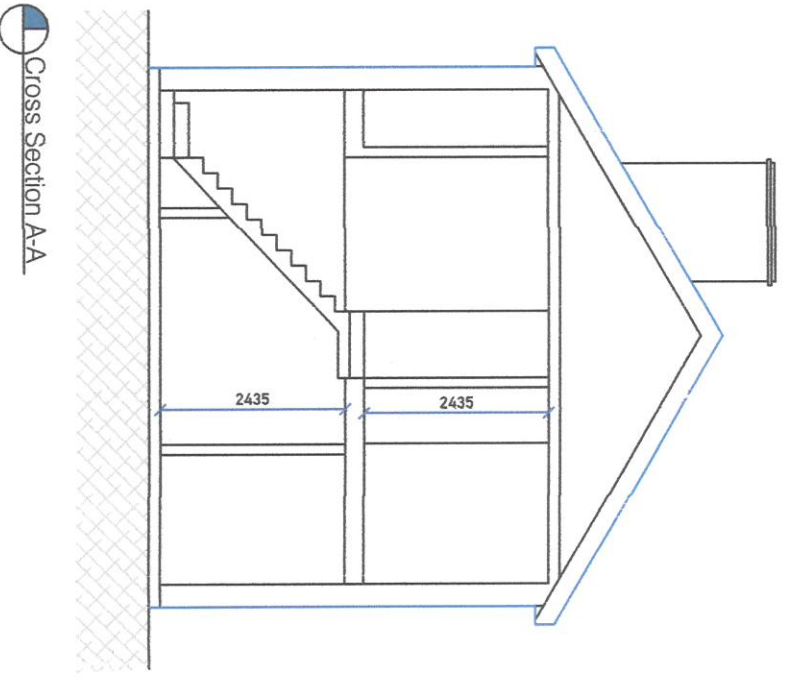
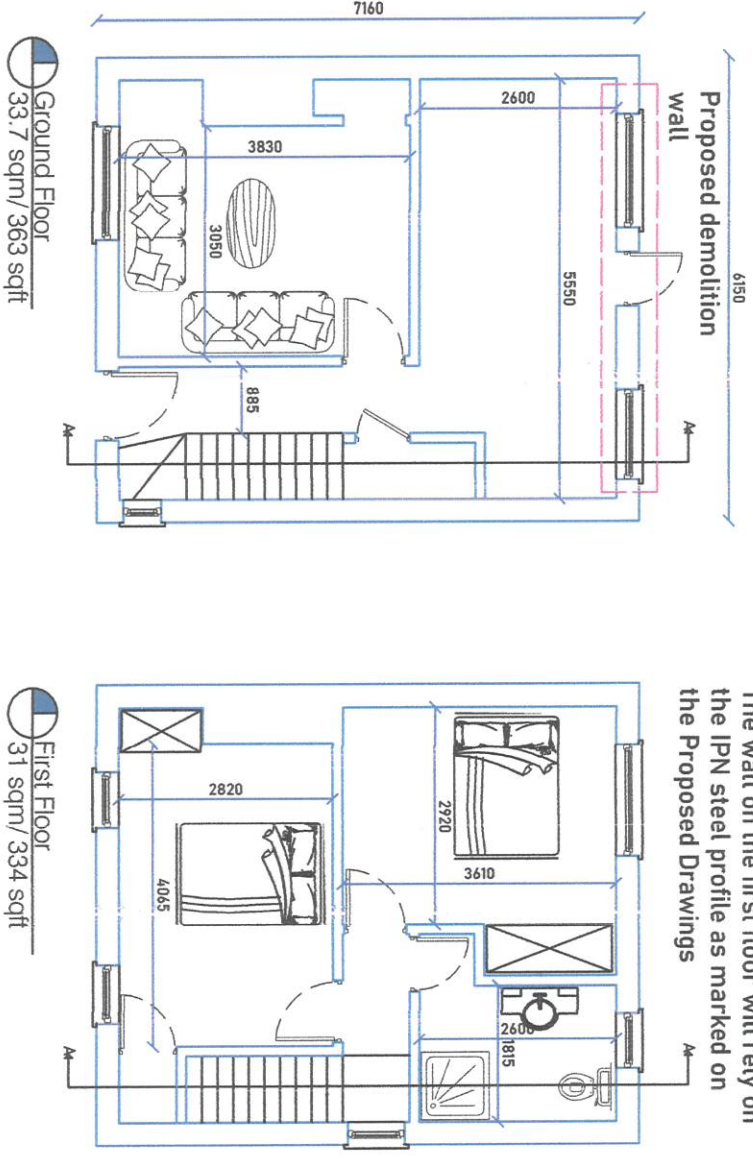
**LOCATION: 2 Connolly Road, Cork City**

**DRAWING: Existing Drawings**

SCALES: **DRAWNBY: Dalibor Lukic** DATE: 24/09/2021

PROJECT No. PW-DL-2021 DRAWING No. 001 SHEET: 001

The wall on the first floor will rely on the IPN steel profile as marked on the Proposed Drawings



Ground Floor  
33.7 sqm/ 363 sqft

First Floor  
31 sqm/ 334 sqft

Cross Section A-A



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 - COORDINATES RELATE TO IRISH NATIONAL GRID, NORTH REFERS TO GRID NORTH  
 - ALL DIMENSIONS ARE IN METERS

**SURVEY KEY**

**LINE TYPE:**

BOUNDARY	—
BUILDING	—
FOOTPATH	—
KERB(ROAD)	—
PROPOSED EXTENSION	—

**Rear Law**  
 The area of rear garden is 43.3 sqm without footpath  
 Footpath and driveway  
 The area of footpath and driveway is 71.7 sqm

03 NOV 2021



Unit P5, Marina Commercial Park, Centre Park Road, Cork, T12 PN7F

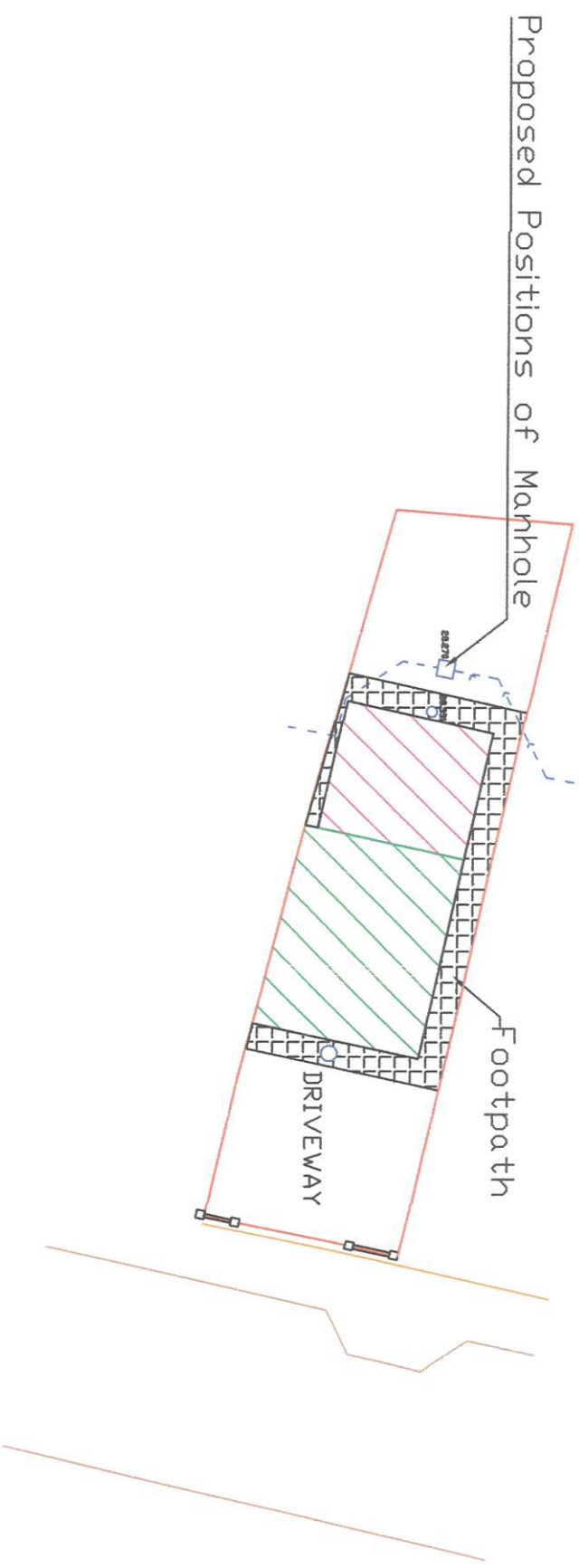
**PROJECT:** Patricia, Nicole & Jonathan Casey

**LOCATION:** 2 Connolly Road, Cork City

**DRAWING:** Proposed Site Layout

**SCALES:** DRAWN BY: DATE: 1:250 Dallbor Lukic 24/09/2021

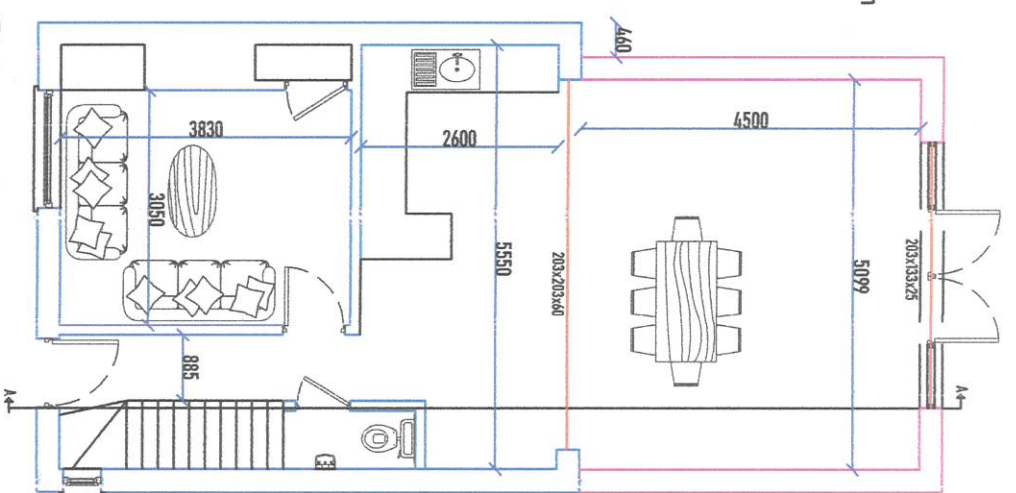
**PROJECT No.:** DRAWING No. SHEET: PV-DL-2021 001 001



Proposed Positions of Manhole

Exemption Extension  
22.95 sqm

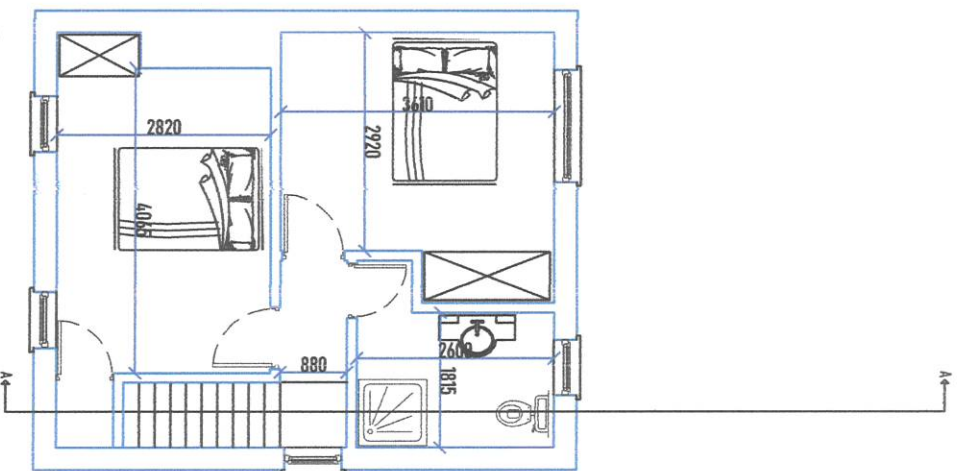
The floor area taken as  
internal dimensions



Ground Floor  
57.6 sqm/ 620 sqft

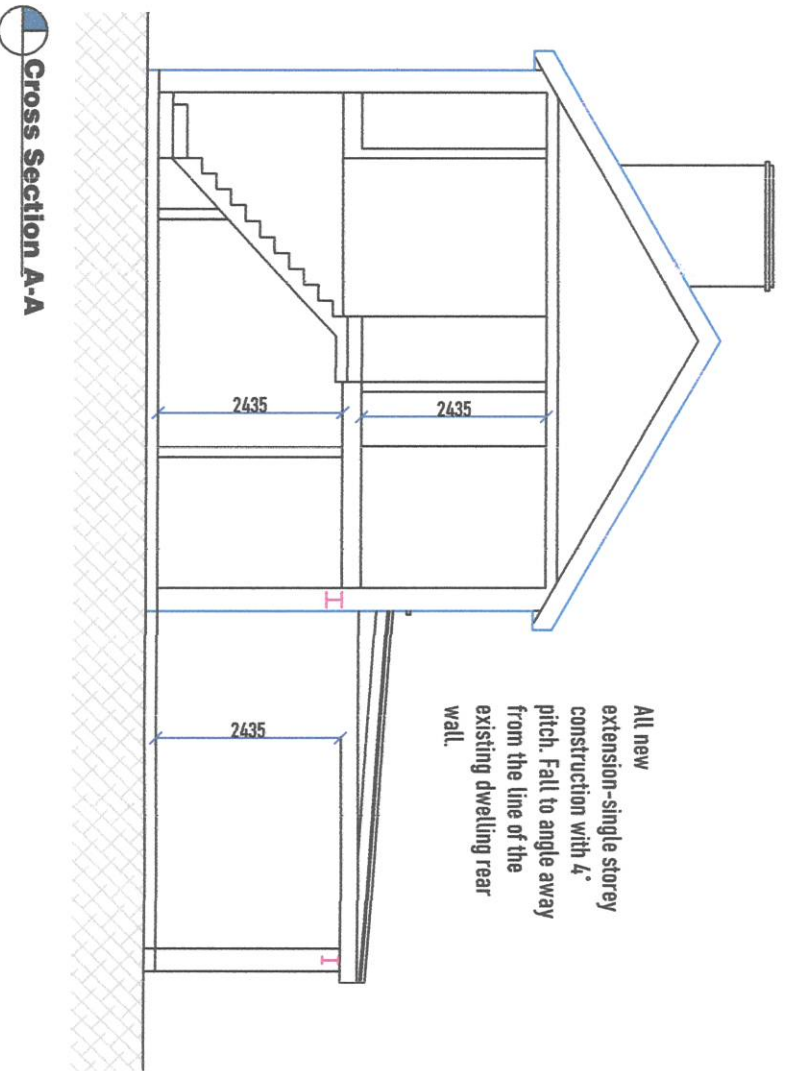
External Walls to be  
constructed with  
concrete block, with  
smooth float plaster  
render finish to external  
wall

New under stair WC to  
be constructed with  
Building Regs. TGD M-  
Section 3.4 Diagram 35



First Floor  
31 sqm/ 334 sqft

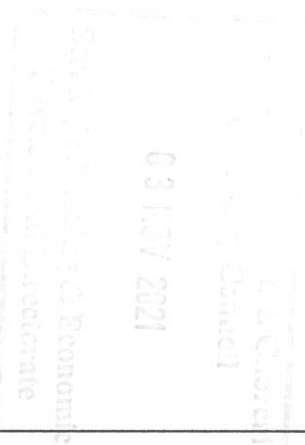
All new  
extension - single storey  
construction with 4°  
pitch. Fall to angle away  
from the line of the  
existing dwelling rear  
wall.



Cross Section A-A

**NOTE:**

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**BCE CONSULTANT  
ENGINEERS CORK**

Unit P5, Marina Commercial Park, Centre Park Road, Cork,  
T12 PN7F

**PROJECT:**  
Patrica, Nicole &  
Jonathan Casey

**LOCATION:**  
2 Connolly Road, Cork City

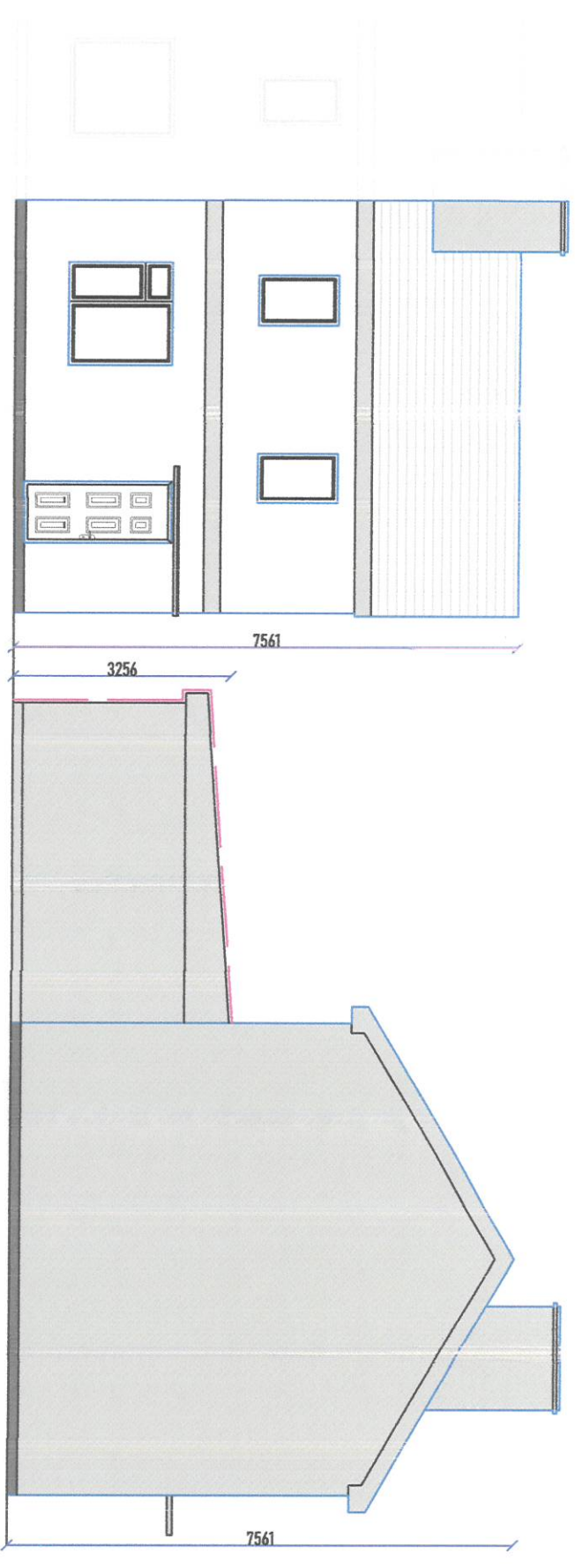
**DRAWING:**  
Proposed Drawings

**SCALES:** 1:100  
**DRAWNBY:** Dailbor Lukic  
**DATE:** 24/09/2021

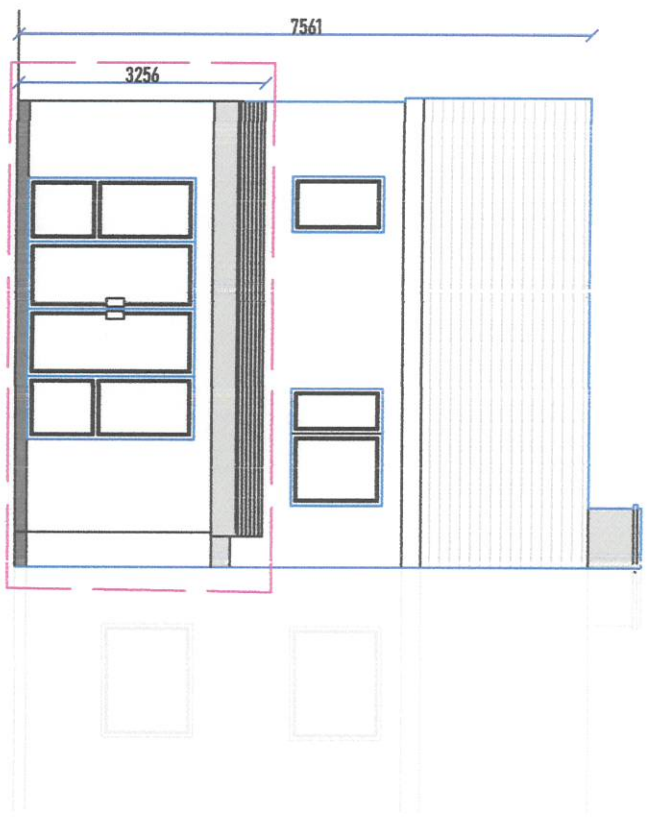
**PROJECT No.:** PW-AL-2021  
**DRAWING No.:** 001

**SHEET:** 001

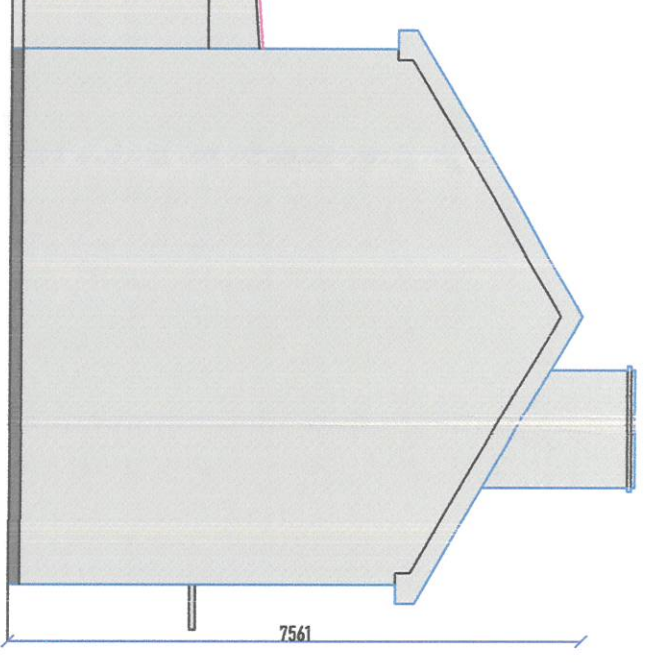




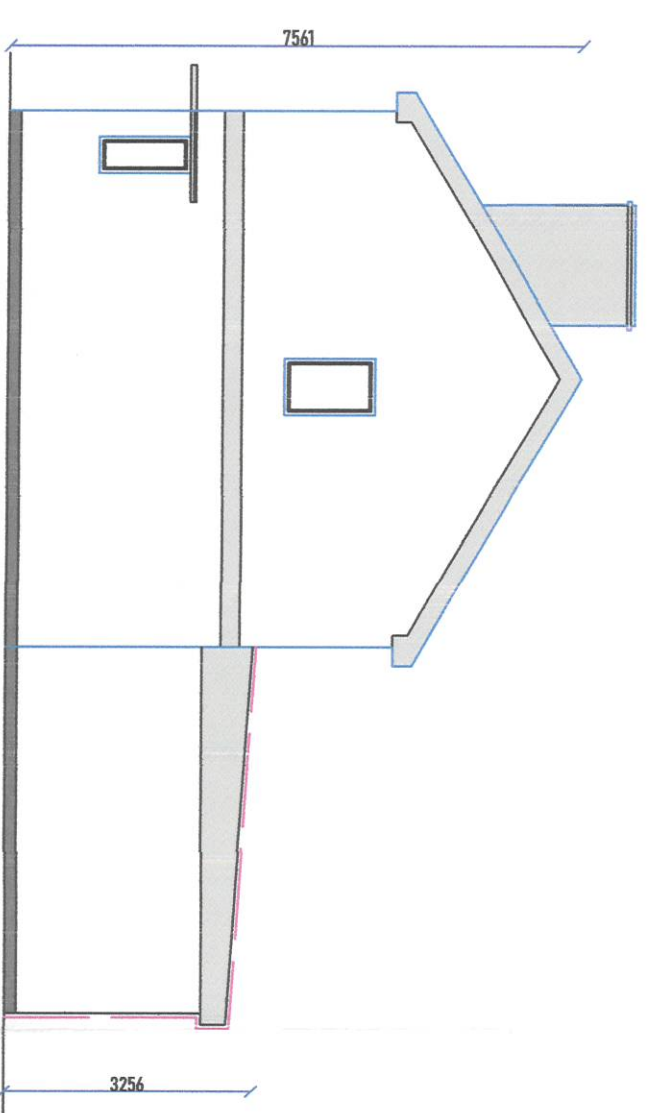
**East Elevation**



**West Elevation**



**South Elevation**



**North Elevation**

PVC seamless gutter and rainwater pipe as selected by client and installed to manufactures instructions

PVC soffit and fascia color as selected by client fixed inaccordance with manufactures instructions

All new External graded double door set with opening windows either side of doors. Color gray

All flashing be coated with patination oil fitting of lead to be in accordance to good lead work partice

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03 NOV 2021

03 NOV 2021



Unit P5, Marina Commercial Park, Centre Park Road, Cork, TT2 PN7F

**PROJECT:** Patricia, Nicole & Jonathan Casey

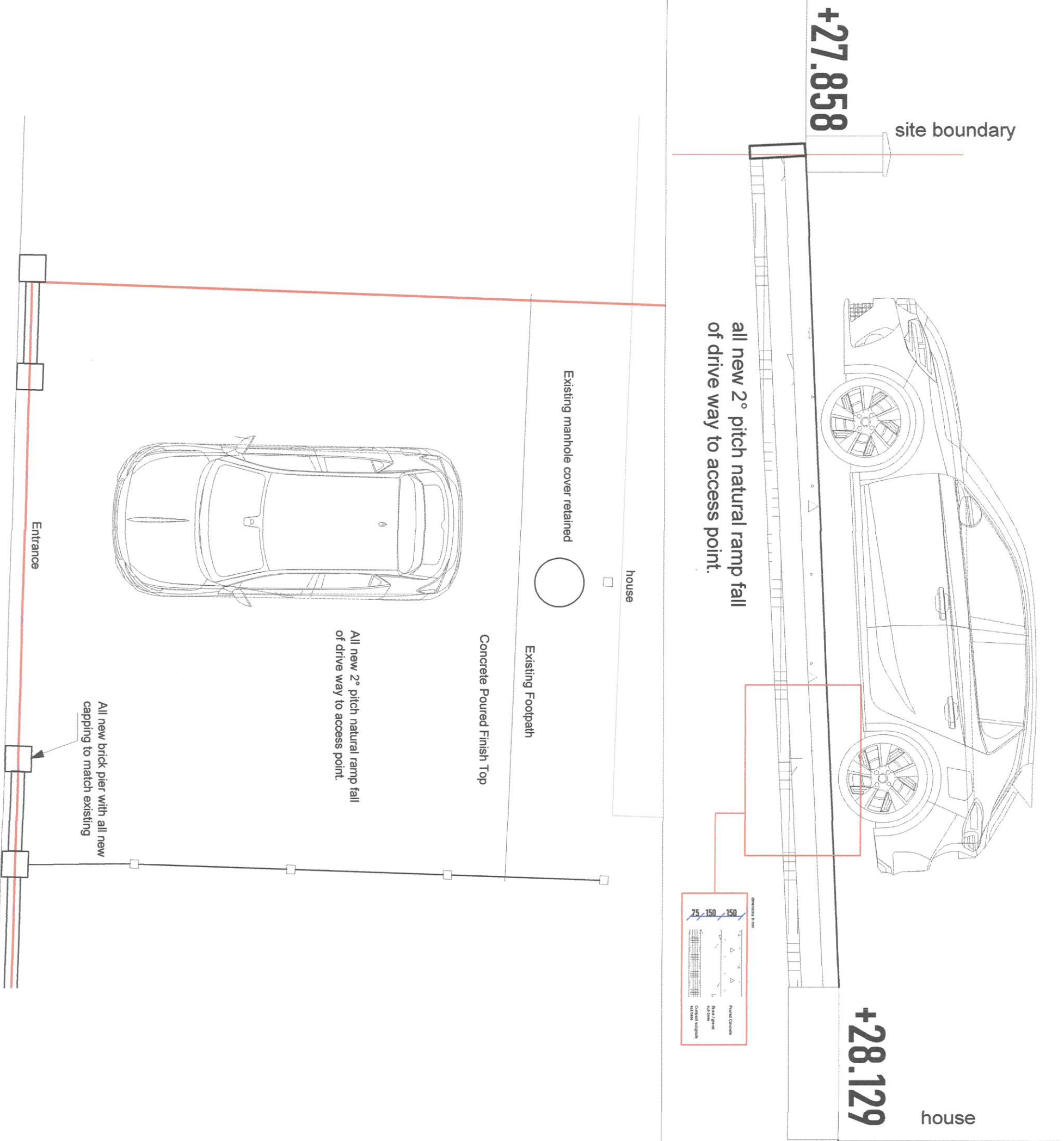
**LOCATION:** 2 Connolly Road, Cork City

**DRAWING:** Proposed Drawings

**SCALE:** 1:80  
**DRAWN BY:** Dalibor Lukic  
**DATE:** 24/09/2021

**PROJECT No.:** PW-01-2021  
**DRAWING No.:** 001  
**SHEET:** 001





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03 NOV 2021



Unit P5, Marina Commercial Park, Centre Park Road, Cork, T12 PN7F

**PROJECT:** Patricia, Nicole & Jonathan Casey

**LOCATION:** 2 Connolly Road, Cork City

**DRAWING:** Proposed Drawings

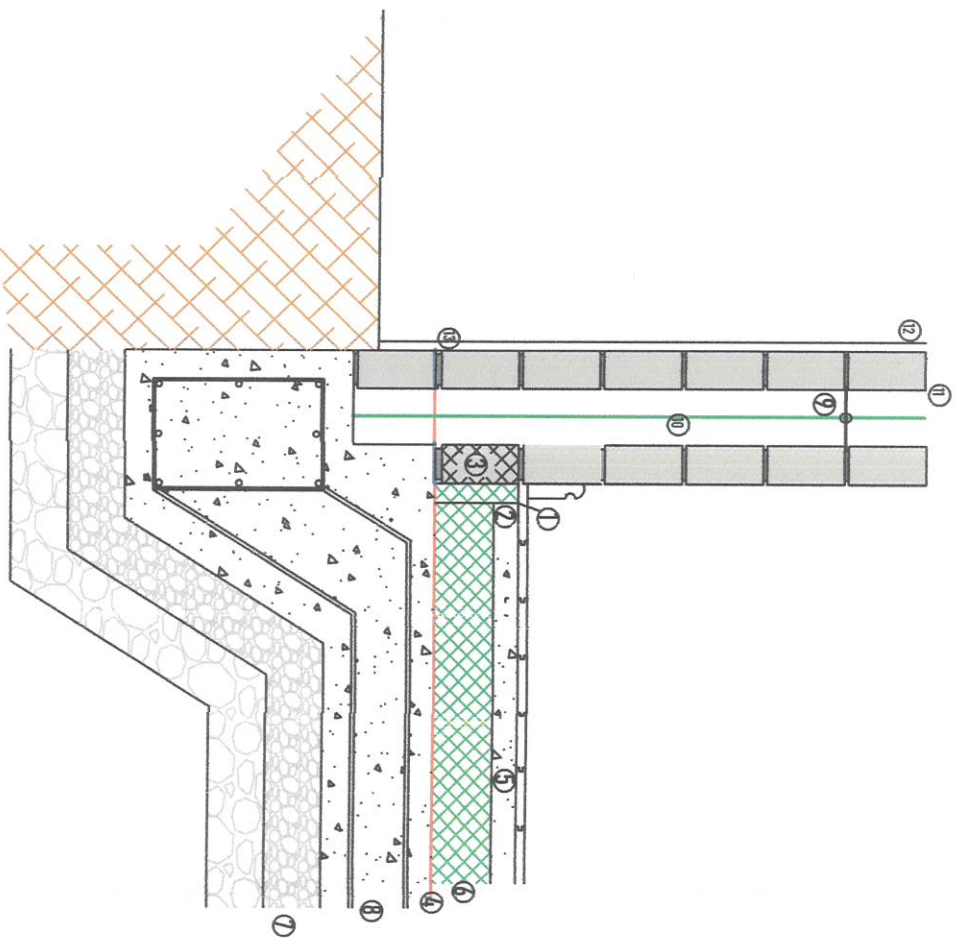
**SCALES:** 1:100  
**DRAWN BY:** Dalibor Lukic  
**DATE:** 24/09/2021

**PROJECT No:** PW-11-2021  
**DRAWING No:** 001  
**SHEET:** 001

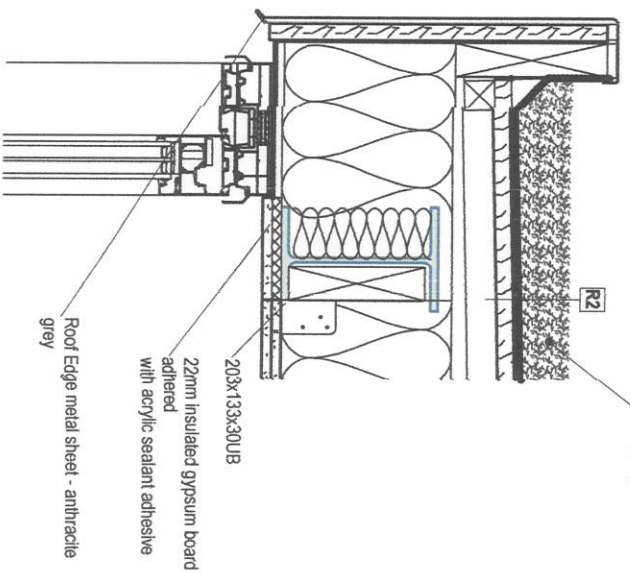


## Wall and Floor details Scale 1:20

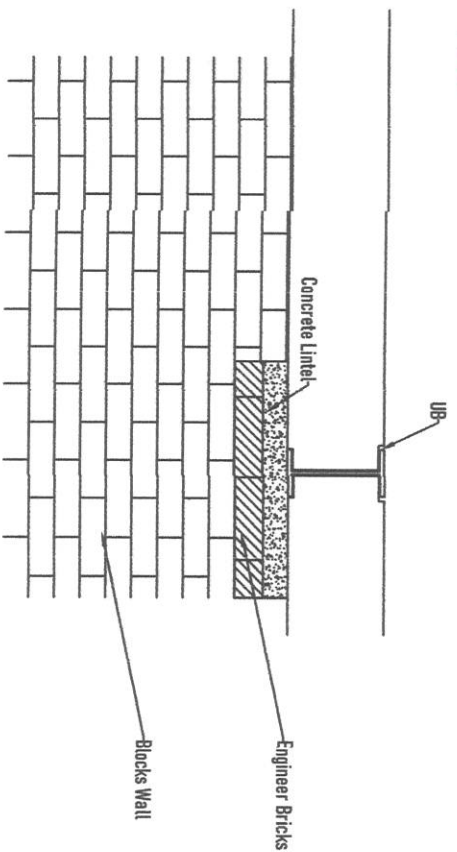
1. Junctions to be taped with airtightness tape to ensure air tightness levels are achieved
2. 50mm floor Perimeter insulation
3. Autoclaved aerated concrete block to be used to ensure thermal break is maintained
4. Radon membrane
5. Concrete floor 100mm
6. 150mm floor insulation
7. Hardcore
8. Foundations
9. Wall ties
10. 150mm Insulation
11. 350mm cavity wall - 100mm concrete block, 150mm insulation and 100mm concrete block
12. 24mm External sand cement render
13. DPC



- R2 Flat roof 2**
- Chippings
  - Weatherproofing: Sika Trocal G410 system with the SBV system applied
  - OSB Decking 22mm
  - Counter battens to facilitate ventilation 40mm
  - Tapered firing pieces 10-200mm
  - Timber joists 44x225mm / Rockwool insulation between joists
  - Vapour Control Layer
  - Plaster slab 2x 12,5mm



Typical fit of a steel beam to a masonry wall with a cushion of lintels and engineer bricks  
1:20



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ALL MATERIALS TO BE USED SHOULD BE FIT FOR THE USE FOR WHICH THEY ARE INTENDED AND FOR THE CONDITIONS IN WHICH THEY ARE TO BE USED WHERE POSSIBLE THESE MATERIALS SHOULD COMPLY WITH THE RELEVANT I.S. OR B.S. STANDARDS A PROPER STANDARD OF WORKMANSHIP IS ESSENTIAL TO COMPLY WITH BUILDING REGULATIONS AND ALL WORK ON SITE SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS

All details and specifications can be found in the attached docs

THE WHOLE OF THE WORKS TO BE CARRIED OUT TO THE FULL INTENT AND MEANING OF CURRENT BUILDING REGULATIONS.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES ENGINEERS IS NOT BE INFORMED OF ANY DISCREPANCIES



**BCE CONSULTANT  
ENGINEERS CORK**

Unit P5, Marina Commercial Park, Centre Park Road, Cork,  
T12 PN7F

**PROJECT:**  
Patrica, Nicole &  
Jonathan Casy

**LOCATION:**  
2 Connolly Road, Cork City

**DRAWING:**  
Proposed Drawings

**SCALE:** 1:100  
**DRAWN BY:** Dailior Lukic  
**DATE:** 24/09/2021

**PROJECT No.:** PW-RL-2021  
**DRAWING No.:** 001  
**SHEET:** 001

Roof Details  
Steel A 1:10